

Mark James LLM, DPA, DCA Prif Weithredwr, *Chief Executive,* Neuadd y Sir, Caerfyrddin. SA31 1JP *County Hall, Carmarthen. SA31 1JP*

Dear Councillor

PLANNING COMMITTEE - TUESDAY, 2ND OCTOBER, 2018

Please find attached copies of the addendae and plans for the above meeting.

Agenda No Item

- 3. <u>E/37292 ERECTION OF A DETACHED GARAGE WITH APEX ROOF AT 125</u> SARON ROAD, SARON, AMMANFORD, SA18 3LH (Pages 5 - 16)
- 4. AREA EAST DETERMINATION OF PLANNING APPLICATIONS (Pages 17 32)
- 5. AREA WEST DETERMINATION OF PLANNING APPLICATIONS (Pages 33 60)
- 6. <u>AREA SOUTH DETERMINATION OF PLANNING APPLICATIONS</u> (Pages 61 138)

Yours sincerely

Mark James CBE

Chief Executive

Encs



Y PWYLLGOR CYNLLUNIO

PLANNING COMMITTEE

02 HYDREF2018

02 OCTOBER 2018

RHANBARTH Y DWYRAIN

AREA EAST



CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

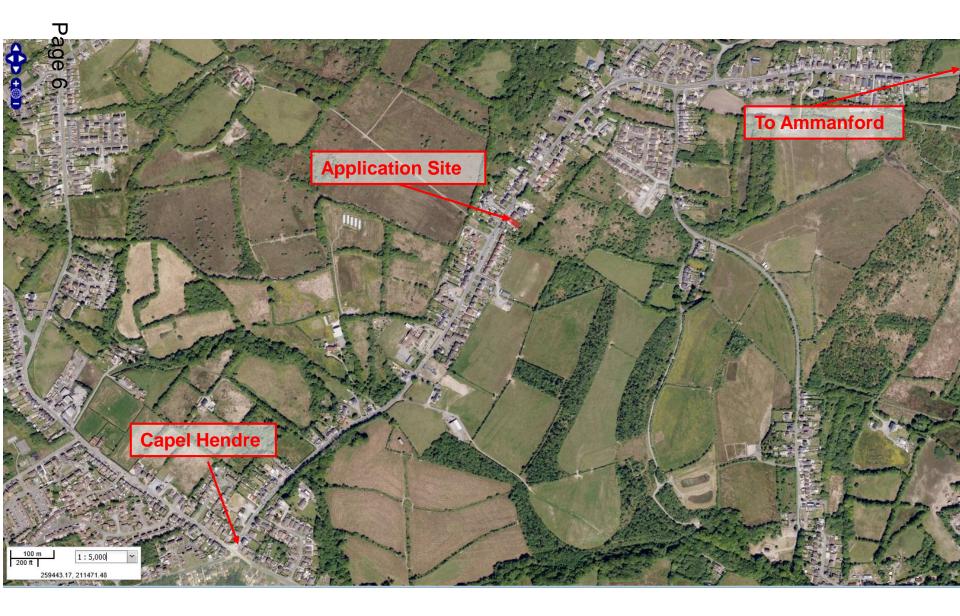
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APPLICATIONS RECOMMENDED FOR APPROVAL







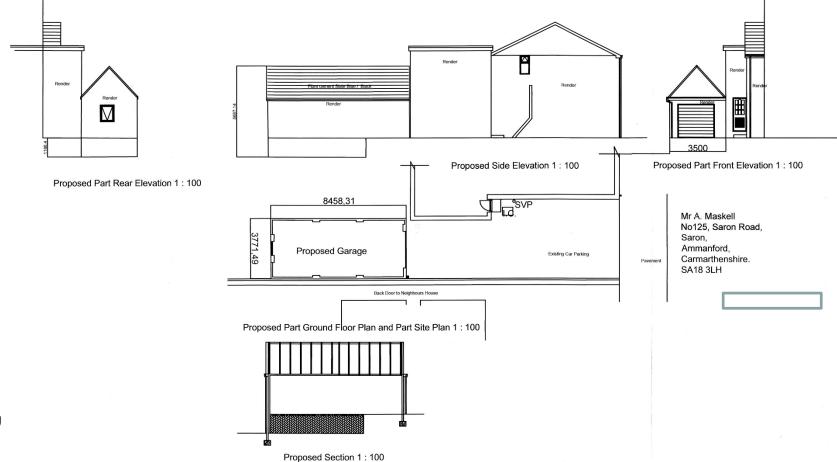






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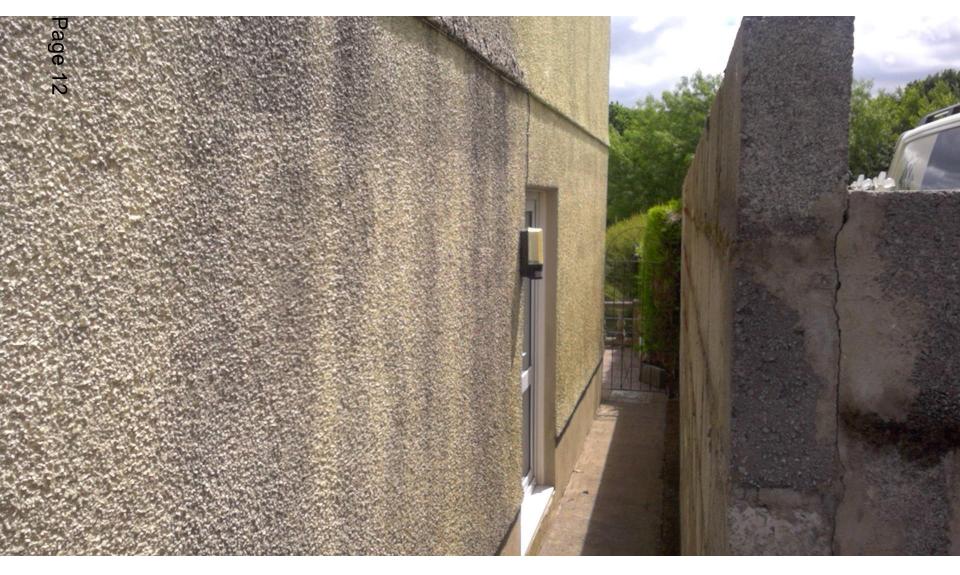












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Agenda Item 4

ADRODDIAD PENNAETH CYNLLUNIO, CYFARWYDDIAETH YR AMGYLCHEDD

REPORT OF THE HEAD OF PLANNING, DIRECTORATE OF ENVIRONMENT

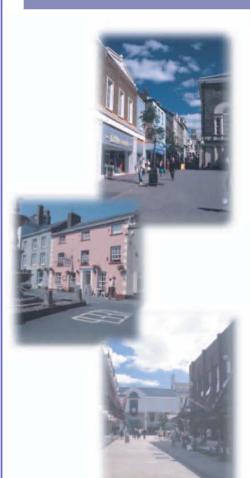
AR GYFER PWYLLGOR CYNLLUNIO CYNGOR SIR CAERFYRDDIN

TO CARMARTHENSHIRE COUNTY COUNCIL'S PLANNING COMMITTEE

> AR 02 HYDREF 2018 ON 02 OCTOBER 2018

I'W BENDERFYNU FOR DECISION

ATODIAD ADDENDUM Ardal Dwyrain/ Area East







ADDENDUM – Area East

Application Number	E/37720
Proposal & Location	ERECTION OF A STEEL PORTAL FRAMED BUILDING, WITH CONCRETE PANEL WALLS AND BOX PROFILE STEEL SHEETING TO THE EAVES FOR USE OF A COVERED MANURE STORE, TOGETHER WITH ALL OTHER ASSOCIATED WORKS AT GODRE GARREG, LLANGADOG, SA19 9DA

DETAILS:

CONSULTATIONS

Natural Resources Wales (NRW) - Following the receipt of the further details requested in terms of the storage capacity, design and construction of the proposed manure store, NRW has now responded that there are no objections to the proposed development.

Landscape Officer – Offers no objection to the application subject to the imposition of two conditions with regard to the construction exclusion zone around specific landscape elements and to secure compliance with submitted landscaping scheme respectively.

The two recommended conditions shall be included in place of conditions 11 and 12 as shown in the report.

Planning Ecologist – Has commented that there are no ecological concerns other than ensuring the legislation in relation to the Special Area of Conservation (SAC) is met and assessments are carried out following due process. The application will need a TLSE that needs to be informed by NRWs response to the new information which is outstanding.

The recently received NRW reply referred to above has now been forwarded to Ecologist to enable the TLSE to be undertaken. The recommendation that planning permission is granted is subject to the satisfactory conclusion of the TLSE process.

Neighbours/Public - Fourteen further letters of objection have now been received which reiterate the objections referred to in the report and raise the following concerns:-

- As the local member has declared an interest there is no local representative to act on behalf of the objectors.
- The manure store building should have been included in the initial application for the poultry unit.
- The report was written before the end of the consultation period which concluded on 28th September; how can a fully informed recommendation be made without all of the relevant information being available?
- There does not appear to be any record/reference to the objections in the report 'in effect planning permission has been granted before the end of the consultation period'.

- The strength of and the need to ensure compliance with any conditions which may be imposed the applicant has already breached planning conditions.
- The welfare of the chickens to be housed in the poultry unit.
- The provision and location of a vehicular parking space on the common.
- The officer presenting the application to the Committee does not have the in-depth knowledge of the case officer and the determination should be deferred until the case officer is available.

THIRD PARTY REPRESENTATIONS

Having regard to each of the concerns referred to above:-

Although no communication has been received from the local member Cllr Andrew James in this application he did formally declare an interest in the previous application (E/33695) for the poultry unit.

Members may recall that the applicant amended the location of the poultry unit during the course of application E/33695 so as to be closer to the main farm complex to address concerns expressed by the committee at the time of the initial consideration of the proposal. While those revised plans sought to introduce the provision of the manure storage building it was considered that the application had to remain of the same type i.e. for the poultry unit only, and the manure storage building would have to be the subject of a subsequent application.

It is acknowledged that the report was drafted before the expiration of the consultation period; the outstanding information subsequently received is referred to in this addendum.

There is reference to the objections received in the main report, which is updated in this addendum.

Again it is acknowledged that there is a need to ensure compliance with the conditions imposed on the permission. The report notes the breach of condition with regard to work having commenced before permission for the manure storage building has been secured and conveys the part the determination of this application has in considering the expediency of any enforcement action. A second concern in respect of work commencing before the stipulated 8:00 am has been conveyed to the applicant's agent.

The welfare of the chickens to be housed in the poultry unit and the provision of the vehicular parking space on the common are not material considerations in the determination of this application.

The comment in respect of the officer presenting the application to the Committee does not have the in-depth knowledge of the case officer and the determination should be deferred until the case officer is available is a statement of opinion. While the case officer does have a day to day involvement in the application it is the usual practice that a senior colleague presents the application to Committee.

Correction:-

At the head of page 17 in addressing the first concern in the 'Third Party Representations' section, the report refers to the approved poultry unit building being '...8.2m with the chimneys'. The approved poultry unit building is 6.09m to the ridge with the chimneys 1.5m above i.e. a total height of 7.59m. The sentence should therefore correctly read:-

"The ridge of the proposed building will be 8.3 metres above the ground level and whilst the height will be higher than the proposed poultry unit at 7.6 metres with the chimneys; it does not excessively exceed the height of the existing agricultural buildings at the farm;..."

Y PWYLLGOR CYNLLUNIO

PLANNING COMMITTEE

02 HYDREF 2018

02 OCTOBER 2018

RHANBARTH Y DWYRAIN

AREA EAST



CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

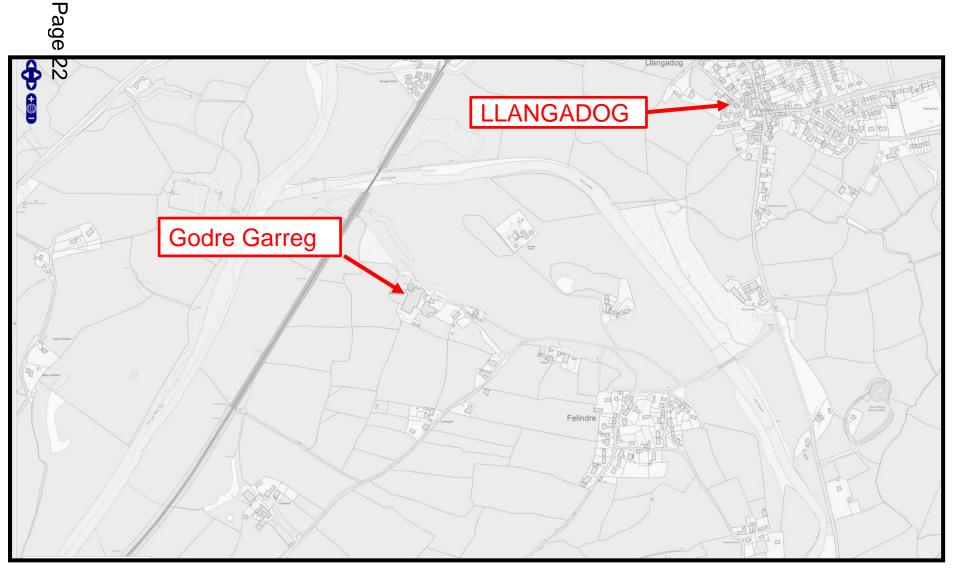
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APPLICATIONS RECOMMENDED FOR APPROVAL





LOCATION PLAN



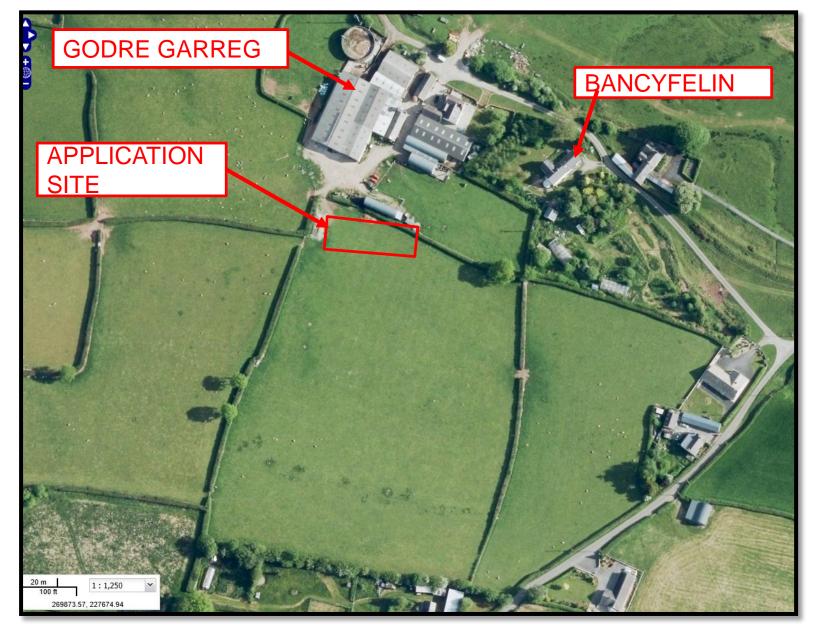
AERIAL LOCATION PLAN



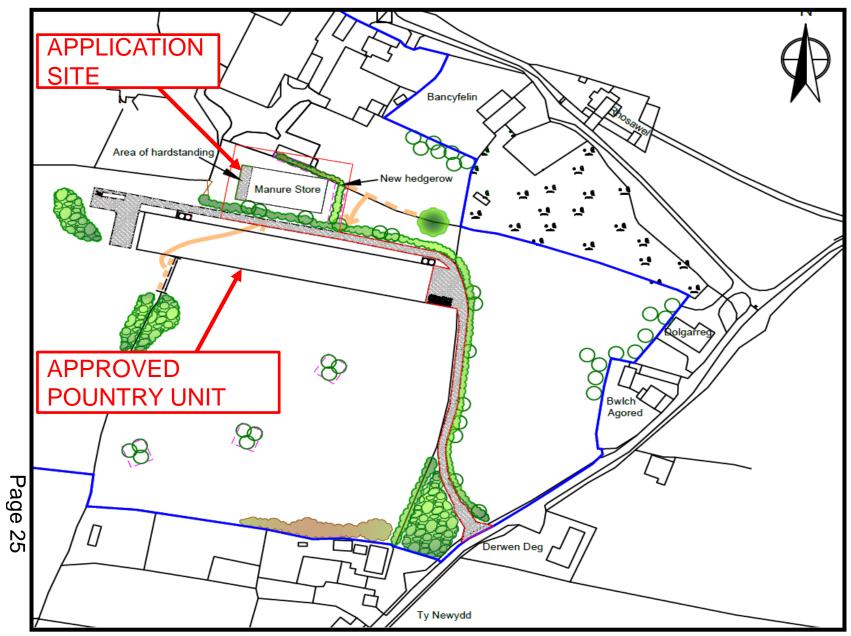




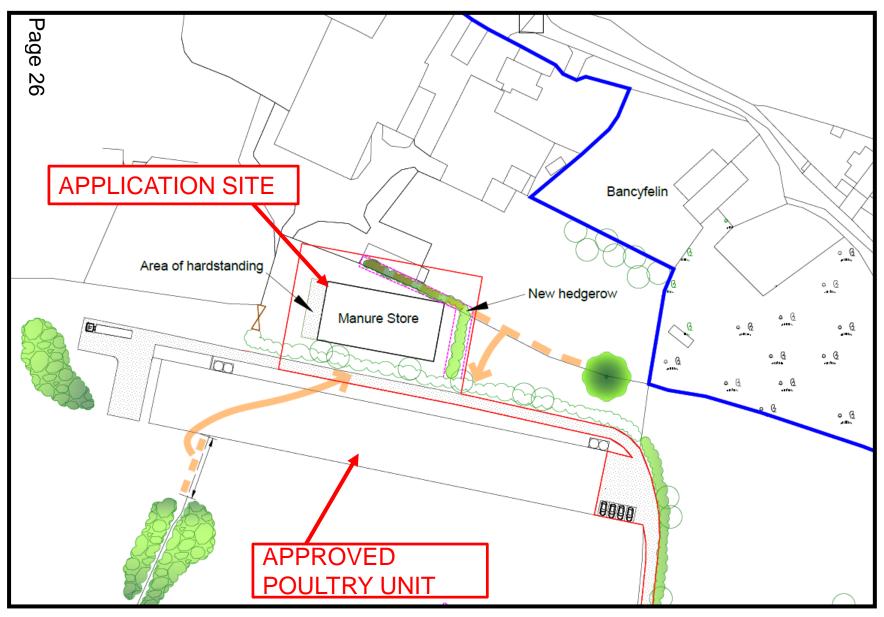
Page 24



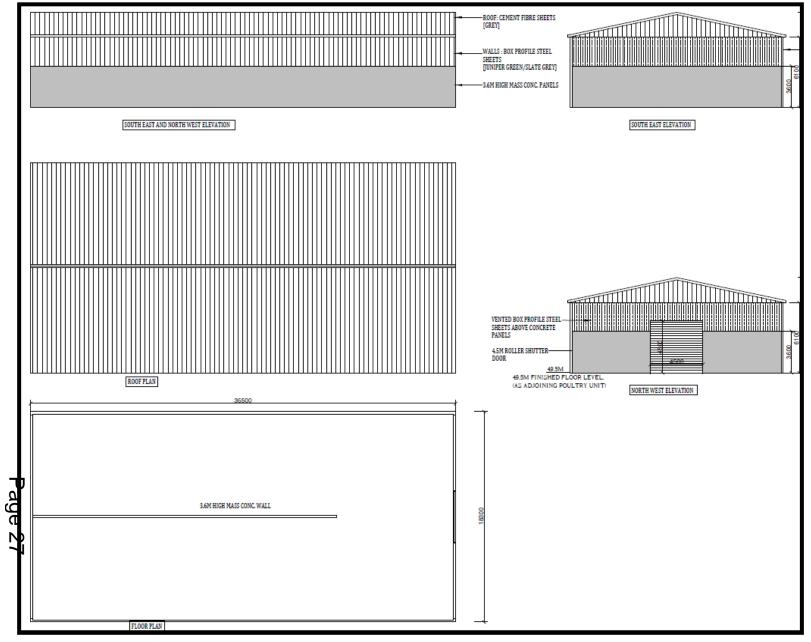
E/37720 SITE AND LANDSCAPING PLAN



SITE PLAN



ELEVATION AND LAYOUT PLANS



SITE PHOTO



SITE PHOTO



SITE PHOTO



Agenda Item 5

ADRODDIAD PENNAETH CYNLLUNIO, CYFARWYDDIAETH YR AMGYLCHEDD

REPORT OF THE HEAD OF PLANNING, DIRECTORATE OF ENVIRONMENT

AR GYFER PWYLLGOR CYNLLUNIO CYNGOR SIR CAERFYRDDIN

TO CARMARTHENSHIRE COUNTY COUNCIL'S PLANNING COMMITTEE

> AR 02 HYDREF 2018 ON 02 OCTOBER 2018

I'W BENDERFYNU/ FOR DECISION

ADDENDUM

Ardal Gorllewin/ Area West







ADDENDUM – Area West

Application Number	W/37575
Proposal & Location	TWO STOREY EXTENSION TO REAR OF DWELLING AT 13 PLAS PENWERN, JOHNSTOWN, CARMARTHEN, SA31 3PN

DETAILS:

CONSULTATIONS

Local Member – County Councillor G John has requested that the Planning Committee undertake a site visit given that the application property backs onto the properties of Llansteffan Road and Heol y Drindod and it will be difficult for the Committee to assess the potential impact upon existing properties without viewing the property. Councillor John also refers to the concerns raised by neighbours regarding the likely impact of the two storey extension.

Neighbours/Public - A further four letters of objection have been received from adjacent residents in respect of the application which reiterate previous concerns with particular regard to:-

- Loss of privacy;
- Loss of light;
- Impact upon the visual aspect of the estate.

APPRAISAL

The respondents' concerns have been addressed in the main report presented to the Committee wherein it is concluded that the proposal is in accord with the design and amenity objectives of Policies GP1 and GP6 of the Local Development Plan.

The recommendation to approve therefore remains unchanged.

Y PWYLLGOR CYNLLUNIO PLANNING COMMITTEE

02 HYDREF 2018

02 OCTOBER 2018

RHANBARTH Y GORLLEWIN AREA WEST



CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

age 34

APPLICATIONS RECOMMENDED FOR APPROVAL

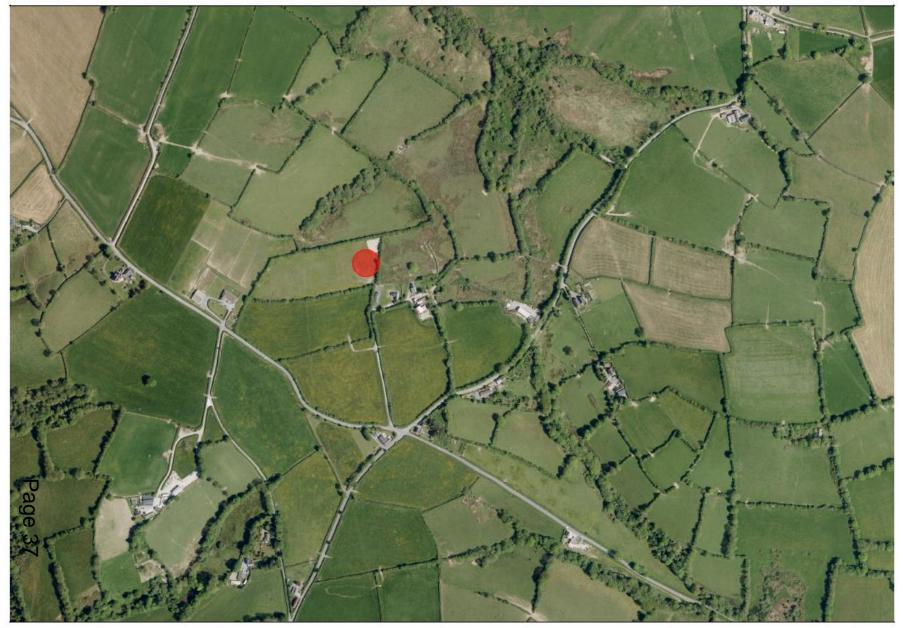


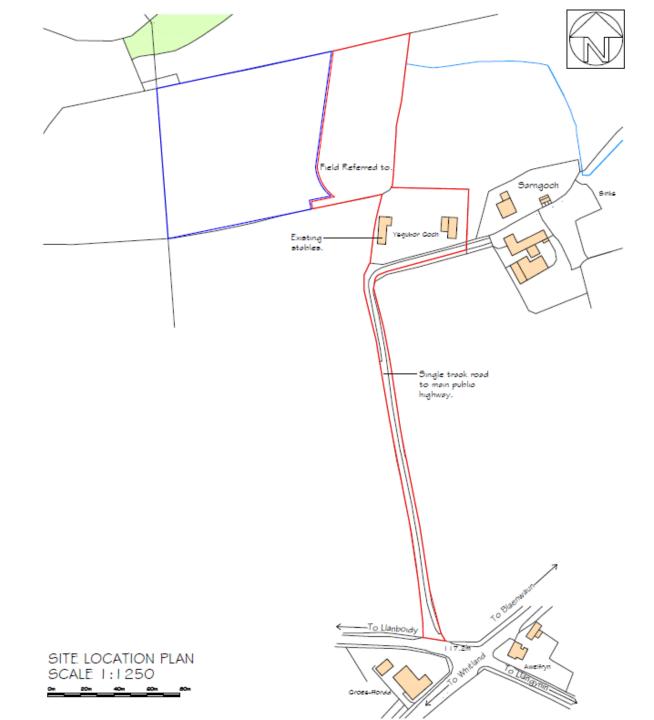
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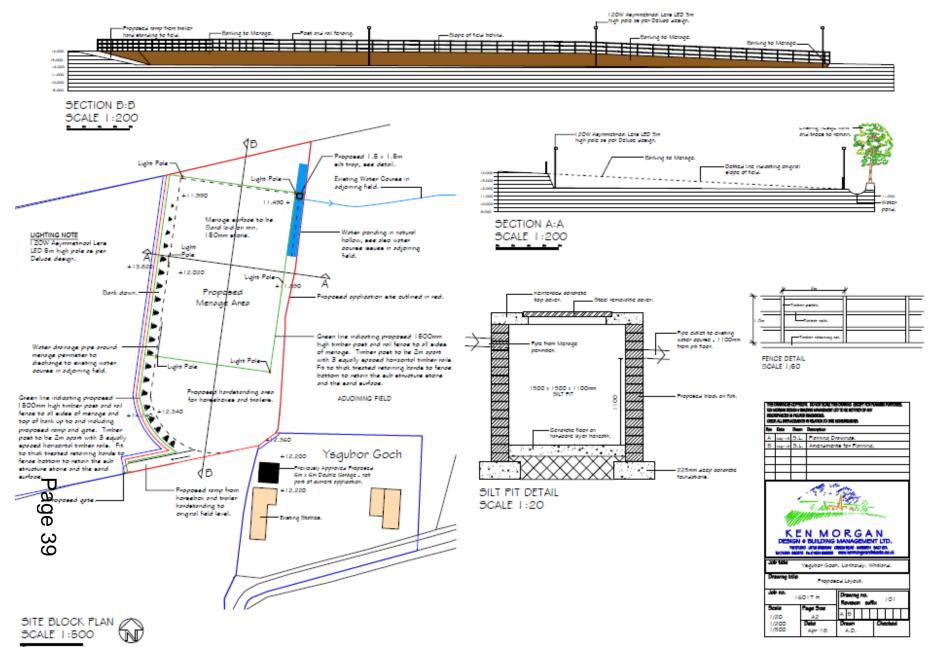


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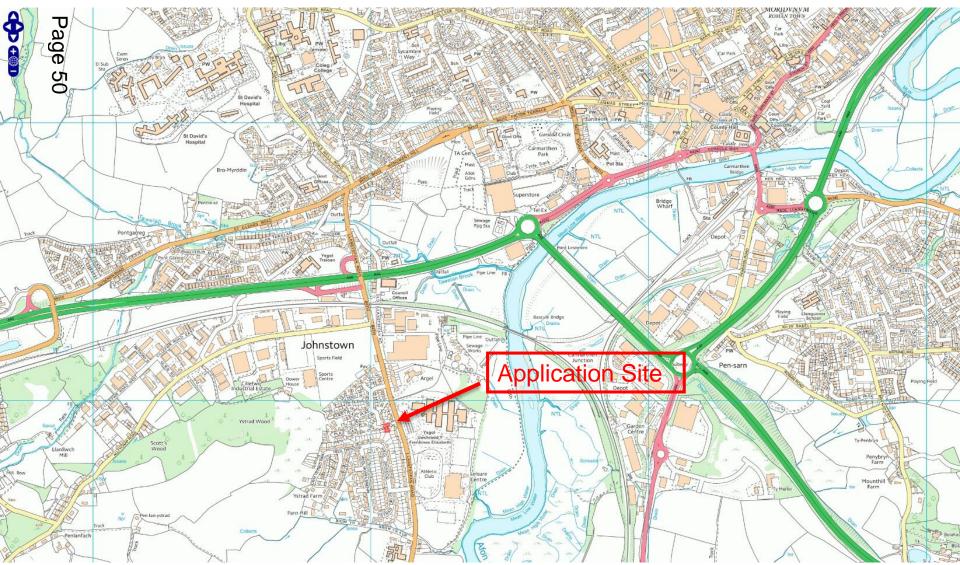








LOCATION PLAN



W/37575 SITE PLAN



AERIAL SITE PLAN



W/37575 EXISTING AND PROPOSED PLANS

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site location plan 1:1250

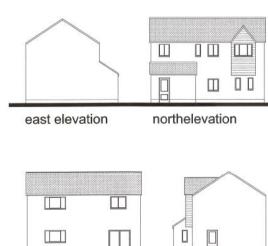
EXISTING





ground floorplan

first floor plan



soute elevation west elevation











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Agenda Item 6

ADRODDIAD PENNAETH CYNLLUNIO, CYFARWYDDIAETH YR AMGYLCHEDD

REPORT OF THE HEAD OF PLANNING, DIRECTORATE OF ENVIRONMENT

AR GYFER PWYLLGOR CYNLLUNIO CYNGOR SIR CAERFYRDDIN

TO CARMARTHENSHIRE COUNTY COUNCIL'S PLANNING COMMITTEE

> AR 02 HYDREF 2018 ON 02 OCTOBER 2018

I'W BENDERFYNU/ FOR DECISION

ATODIAD ADDENDUM Ardal De/ Area South





ADDENDUM – Area South

Application Number	S/36993
Proposal & Location	CONSTRUCTION OF 103 NO. DWELLINGHOUSES, ACCESS ROAD AND ASSOCIATED INFRASTRUCTURE AT LAND PART OF FORMER GOODIG HOTEL, PWLL ROAD, BURRY PORT, CARMARTHENSHIRE

DETAILS:

APPRAISAL

Amended Plan – In response to Dwr Cymru/Welsh Water's initial observations highlighting the proximity of one of the proposed dwellings to their trunk water main, the applicant has now submitted an amended plan illustrating how they could re-route the trunk water main to safeguard the required 4m protection zone from their asset. Further consultation with DCWW will now be undertaken.

THIRD PARTY REPRESENTATIONS

In response to objections raised concerning the requirements to comply with the requirements of the Active Travel Plan (Wales) 2013. The Act requires local authorities to produce active travel plans and deliver improvements in active travel routes. In compliance with this requirement, CCC have prepared an Existing Route Map that identifies current walking/cycling routes and have also completed the next stage of implementation delivering the Integrated Network Map (INM).

As part of this planning application no specific off site walking or cycling provisions have been identified as needing attention because the existing local/adjacent highway network has sufficient provision.

Y PWYLLGOR CYNLLUNIO

PLANNING COMMITTEE

02 HYDREF 2018

02 OCTOBER 2018

RHANBARTH Y DE

AREA SOUTH



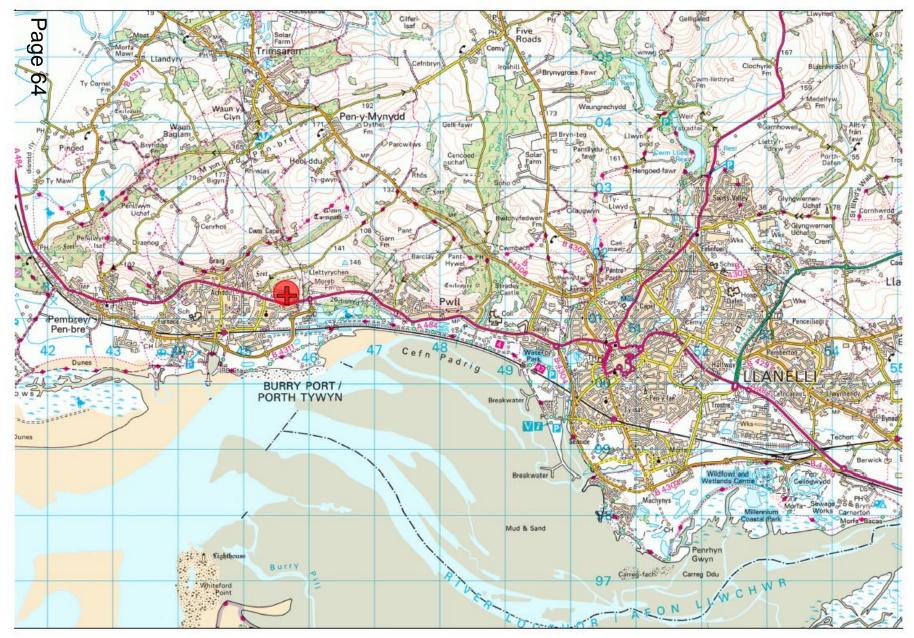
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APPLICATIONS RECOMMENDED FOR APPROVAL

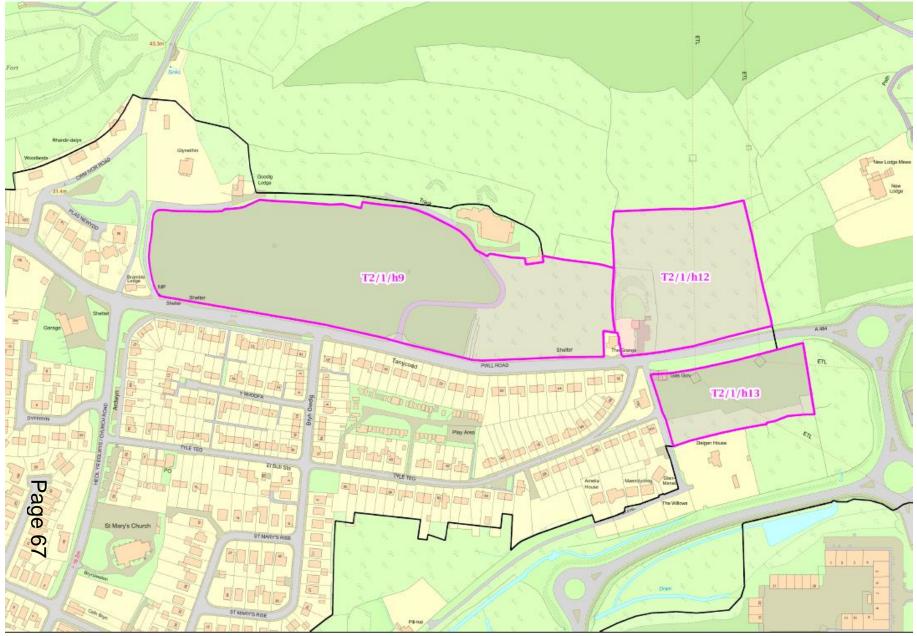














A - red line amended. 10.5.17

Former Goodig Hotel, Burry PortPOBL GROUPLocation Plan1:1250@A3May172249-100

T 01656 656267E mail@spring-consultancy.co.uk

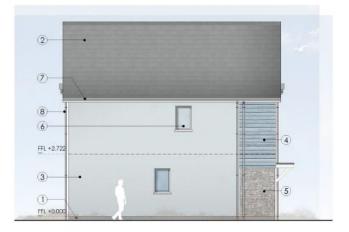
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FRONTELEVATION OPTION 1



LEFT SIDE ELEVATION OPTION 1







RIGHTSIDE ELEVATION OPTION 1

Pen-y-Porth, Burry Port. HOUSE TYPE A1 2 Bedroom House | 764 sq ft OPTION A1 ELEVATIONS Scale 1:100 @ A3 2249-200-04 Elevations 2 Bedroom House | 764 sq ft

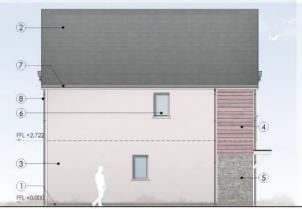
spring

EXTERNAL MATERIAL FINISHES SCHEDULE:

- Approved Engineering brickwork to plinth. Colour Blue.
- Roof Tiles. Approved Concrete Tiles. Colour Grey.
- (3) Approved Through Coloured Rendur Wall Finish.
- (4) Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- (6) Upvc Double Glazed Windows, Screens and Doors, Colour White,
- (7) Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods. Colour White.



FRONTELEVATION OPTION 2



LEFT SIDE ELEVATION OPTION 2





RIGHT SIDE ELEVATION OPTION 2 Approved Engineering brickwork to

2 Roof Tiles, Approved Concrete Tiles

EXTERNAL MATERIAL FINISHES SCHEDULE:

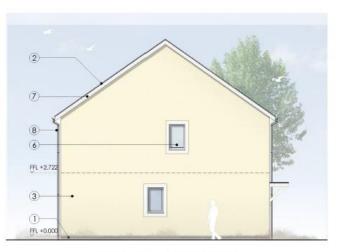
- Roof Tiles. Approved Concrete Tiles. Colour Grey.
- (3) Approved Through Coloured Render Wall Finish.
- (4) Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- (6) Upvc Double Glazed Windows, Screens and Doors. Colour White.
- (7) Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods. Colour White.

Pen-y-Porth, Burry Port. HOUSE TYPE A2 2 Bedroom House | 764 sq ft OPTION A2 ELEVATIONS Scale 1:100 @ A3 2249-200-05 Elevations 2 Bedroom House | 764 sq ft





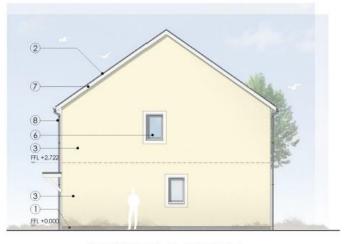
FRONTELEVATION OPTION 4



OPTION 4



OPTION 4



RIGHTSIDE ELEVATION OPTION 4

EXTERNAL MATERIAL FINISHES SCHEDULE:

- Approved Engineering brickwork to plinth. Colour Blue.
 Roof Tiles. Approved Concrete Tiles.
- Colour Grey.
- (3) Approved Through Coloured Render Wall Finish.
- (4) Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- (6) Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods, Colour White,

Pen-y-Porth, Burry Port. HOUSE TYPE A4 2 Bedroom House | 764 sq ft OPTION A4 ELEVATIONS Scale 1:100 @ A3 2249-200-07 Elevations 2 Bedroom House | 764 sq ft





FIRST FLOOR PLAN OPTIONS A1,2,3,4,6



GROUND FLOOR PLAN OPTIONS A1,2,3,4,6

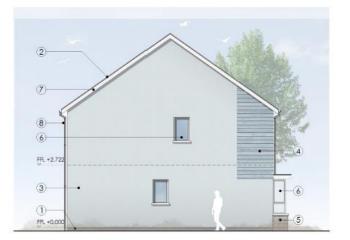
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Pen-y-Porth, Burry Port. HOUSE TYPE A1 2 Bedroom House | 764 sq ft OPTION A1 PLANS Scale 1:100 @ A3 2249-200-01 Plans 2 Bedroom House | 764 sq ft





FRONTELEVATION OPTION 5



LEFT SIDE ELEVATION OPTION 5

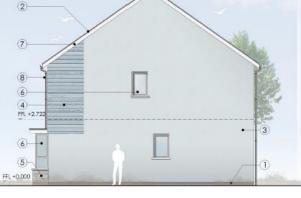


- (1) Approved Engineering brickwork to plinth. Colour Blue. (2) Roof Tiles. Approved Concrete Tiles.
- Colour Grey.
- (3) Approved Through Coloured Render Wa! rinish.
- (4) Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- (6) Upvc Double Glazed Windows, Screens and Doors. Colour White.
- (7) Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods. Colour White.









RIGHT SIDE ELEVATION OPTION 5

Pen-y-Porth, Burry Port. HOUSE TYPE A5 2 Bedroom House | 764 sq ft **OPTION A5 ELEVATIONS** Scale 1:100 @ A3

2249-200-08 Elevations 2 Bedroom House | 764 sq ft







GROUND FLOOR PLAN OPTION A5

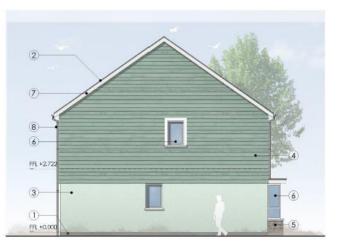
Page 75

Pen-y-Porth, Burry Port. HOUSE TYPE A5 2 Bedroom House | 764 sq ft OPTION A5 PLANS Scale 1:100 @ A3 2249-200-02 Plans 2 Bedroom House | 764 sq ft





FRONTELEVATION OPTION 5.7



LEFT SIDE ELEVATION OPTION 5,7

EXTERNAL MATERIAL FINISHES SCHEDULE:

- Approved Engineering brickwork to plinth, Colour Blue,
- (2) Roof Tiles. Approved Concrete Tiles. Colour Grey.
- (3) Approved Through Coloured Render Wall Finish.
- (4) Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White,
- (7)Upvc fascias and soffits. Colour White,
- 8 Upvc Rainwater Goods. Colour White.



REAR ELEVATION OPTION 5.7



RIGHT SIDE ELEVATION OPTION 5,7

Pen-y-Porth, Burry Port. HOUSE TYPE A5, A7 2 Bedroom House | 764 sq ft **OPTION A5, A7 ELEVATIONS** Scale 1:100 @ A3

2249-200-10 Elevations 2 Bedroom House | 764 sq ft







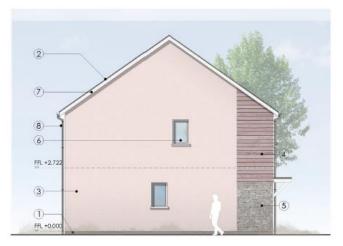
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Pen-y-Porth, Burry Port. HOUSE TYPE A5,A7 2 Bedroom House | 764 sq ft OPTION A5,A7 PLANS Scale 1:100 @ A3 2249-200-03 Plans 2 Bedroom House | 764 sq ft





FRONTELEVATION OPTION 6



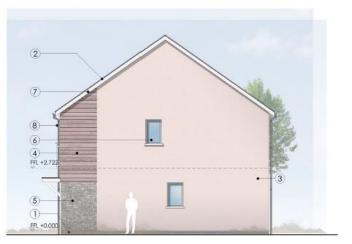
LEFT SIDE ELEVATION OPTION 6



- Approved Engineering brickwork to plinth. Colour Blue.
- Roof Tiles. Approved Concrete Tiles. Colour Grey.
- (3) Approved Through Coloured Render Wall Finish.
- (4) Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- (6) Upvc Double Glazed Windows, Screens and Doors. Colour White.
- (7) Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods. Colour White.



REAR ELEVATION OPTION 6



RIGHT SIDE ELEVATION OPTION 6

Pen-y-Porth, Burry Port. HOUSE TYPE A6 2 Bedroom House | 764 sq ft OPTION A6 ELEVATIONS Scale 1:100 @ A3 2249-200-09 Elevations 2 Bedroom House | 764 sq ft





FRONTELEVATION OPTION 1



LEFT SIDE ELEVATION OPTION 1



REAR ELEVATION OPTION 1



RIGHTSIDE ELEVATION OPTION 1

Pen-y-Porth, Burry Port. HOUSE TYPE B1 3 Bedroom House | 851 sq ft OPTION B1 ELEVATIONS Scale 1:100 @ A3 2249-201-04 Elevations 3 Bedroom House | 851 sq ft



EXTERNAL MATERIAL FINISHES SCHEDULE:

- Approved Engineering brickwork to plinth. Colour Blue
- Roof Tiles. Approved Concrete Tiles. Colour Grey.
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- (4) Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- (6) Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- (a) Upvc Rainwater Goods. Colour White.

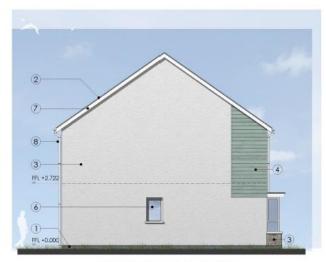


Pen-y-Porth, Burry Port. HOUSE TYPE B1 3 Bedroom House | 851 sq ft OPTION B1 PLANS Scale 1:100 @ A3 2249-201-01 Plans 3 Bedroom House | 851 sq ft





FRONT ELEVATION OPTION 2



LEFTSIDE ELEVATION OPTION 2







Pen-y-Porth, Burry Port. HOUSE TYPE B2 3 Bedroom House | 851 sq ft

OPTION 2

OPTION B2 ELEVATIONS Scale 1:100 @ A3 2249-201-05 Elevations 3 Bedroom House | 851 sq ft

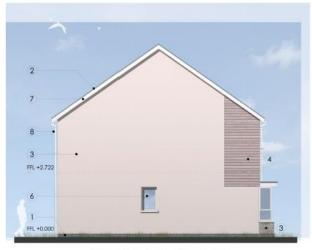
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EXTERNAL MATERIAL FINISHES SCHEDULE:

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- Roof Tiles. Approved Concrete Tiles. Colour Grey.
- (3) Approved Through Coloured Render Wall Finish.
- (4) Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- Upvc Double Glazed Windows, Screens and Doors, Colour White.
- (7) Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods. Colour White.



FRONTELEVATION OPTION 3



LEFT SIDE ELEVATION OPTION 3



RIGHT SIDE ELEVATION OPTION 3

EXTERNAL MATERIAL FINISHES SCHEDULE:

- Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- Approved Through Coloured Render Wall Finish.
- (4) Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- (7) Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.







Pen-y-Porth, Burry Port. HOUSE TYPE B3 3 Bedroom House | 851 sq ft





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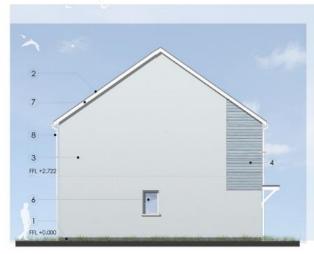
Pen-y-Porth, Burry Port. HOUSE TYPE B3 3 Bedroom House | 851 sq ft **OPTION B3 PLANS** Scale 1:100 @ A3

2249-201-02 Plans 3 Bedroom House | 851 sq ft





FRONTELEVATION OPTION 4



LEFT SIDE ELEVATION OPTION 4



- Approved Engineering brickwork to plinth. Colour Blue.
- Roof Tiles. Approved Concrete Tiles. Colour Grey.
- (3) Approved Through Coloured Render Wall Finish.
- Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods. Colour White.



OPTION 4



RIGHT SIDE ELEVATION OPTION 4

Pen-y-Porth, Burry Port. HOUSE TYPE B4 3 Bedroom House | 851 sq ft OPTION B4 ELEVATIONS Scale 1:100 @ A3 2249-201-07 Elevations 3 Bedroom House | 851 sq ft





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Pen-y-Porth, Burry Port. HOUSE TYPE B5 3 Bedroom House | 851 sq ft OPTION B5 PLANS Scale 1:100 @ A3

2249-201-03 Plans 3 Bedroom House | 851 sq ft





HOUSE TYPE B6 3 Bedroom House | 851 sq ft

3 Bedroom House | 851 sq ft





FRONT ELEVATION OPTION 1



LEFT SIDE ELEVATION OPTION 1



REAR ELEVATION OPTION 1



Pen-y-Porth, Burry Port. HOUSE TYPE C1 4 Bedroom House | 1086 sq ft OPTION C1 ELEVATIONS Scale 1:100 @ A3 2249-202-03 Elevations 4 Bedroom House | 1086 sq ft



EXTERNAL MATERIAL FINISHES SCHEDULE:

- Approved Engineering brickwork to plinth. Colour Blue.
- Roof Tiles. Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.



FIRST FLOOR PLAN OPTIONCI



Page 89

GROUND FLOOR PLAN OPTION CI

Pen-y-Porth, Burry Port. HOUSE TYPE C1 4 Bedroom House | 1086 sq ft OPTION C1 PLANS Scale 1:100 @ A3 2249-202-01 Plans 4 Bedroom House | 1086 sq ft





HOUSE TYPE C2 4 Bedroom House | 1086 sq ft

Scale 1:100 @ A3

4 Bedroom House | 1086 sq ft





Redoom 1 Bedroom 2 Bedroom 2 Bedroom 4 B

Peffy-Porth, Burry Port. HOUSE TYPE C2 4 Bedroom House | 1086 sq ft

OPTION C2 PLANS Scale 1:100 @ A3 2249-202-02 Plans 4 Bedroom House | 1086 sq ft





HOUSE TYPE D1 4 Bedroom House | 1488 sq ft

Scale 1:150 @ A3

4 Bedroom House | 1488 sq ft





GROUND FLOOR PLAN 8 PERSON 4 BEDROOM HOUSE TYPE



FIRST FLOOR PLAN 8 PERSON 4 BEDROOM HOUSE TYPE



Page 93

Pen-y-Porth, Burry Port. HOUSE TYPE D1 4 Bedroom House | 1488 sq ft OPTION D1 PLANS Scale 1:150 @ A3 2249-203-01 Plans 4 Bedroom House | 1488 sq ft





Pen-y-Porth, Burry Port. HOUSE TYPE E1 4 Bedroom House WF | 1082 sq ft OPTION E1 Elevations Scale 1:100 @ A3 2249-204-02 Elevations 4 Bedroom House WF | 1082 sq ft





6 PERSON 4 BEDROOM HOUSE TYPE WF

6 PERSON 4 BEDROOM HOUSE TYPE WF

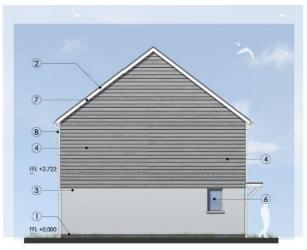
Pento-Porth, Burry Port. HOUSE TYPE E1 4 Bedroom House WF | 1082 sq ft

OPTION E1 Plans Scale 1:100 @ A3 2249-204-01 Plans 4 Bedroom House WF | 1082 sq ft





FRONT ELEVATION OPTION 1



LEFT SIDE ELEVATION OPTION 1



REAR ELEVATION OPTION 1



RIGHT SIDE ELEVATION OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

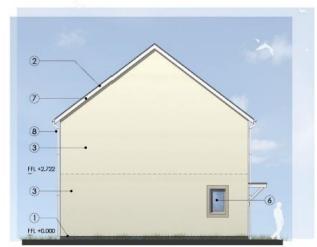
- Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- Approved Through Coloured Render Wall Finish.
- Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods. Colour White.

Pen-y-Porth, Burry Port. HOUSE TYPE F1 2 Bedroom House | 857 sq ft OPTION F1 ELEVATIONS Scale 1:100 @ A3 2249-205-02 Elevations 2 Bedroom House | 857 sq ft





FRONT ELEVATION OPTION 2



LEFT SIDE ELEVATION OPTION 2



EXTERNAL MATERIAL FINISHES SCHEDULE:

- Approved Engineering brickwork to plinth. Colour Blue.
- Roof Tiles. Approved Concrete Tiles. Colour Grey.
- (3) Approved Through Coloured Render Wall Finish.
- (4) Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- (6) Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods. Colour White.

Pen-y-Porth, Burry Port. HOUSE TYPE F2 2 Bedroom House | 857 sq ft OPTION F2 ELEVATIONS Scale 1:100 @ A3 2249-205-03 Elevations 2 Bedroom House | 857 sq ft



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Pen-y-Porth, Burry Port. HOUSE TYPE F1 & F2 2 Bedroom House | 857 sq ft OPTION F1& F2 PLANS Scale 1:100 @ A3 2249-205-01 Plans Rev A 2 Bedroom House | 857 sq ft



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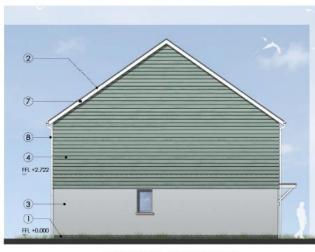
Page 99

FFL +2.722

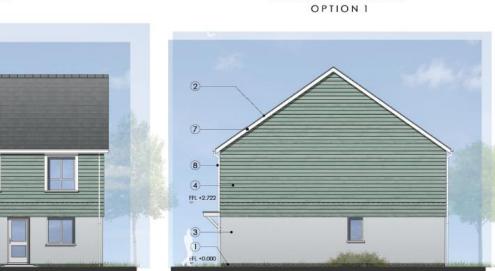
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FRONTELEVATION OPTION 1



LEFT SIDE ELEVATION **OPTION 1**



RIGHT SIDE ELEVATION OPTION 1

Pen-y-Porth, Burry Port. HOUSE TYPE G1 4 Bedroom House | 1237 sq ft

REAR ELEVATION

OPTION 1

OPTION G1 ELEVATIONS Scale 1:100 @ A3

2249-206-02 Elevation Rev A 4 Bedroom House | 1237 sq ft



EXTERNAL MATERIAL FINISHES SCHEDULE:

- (1) Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- Approved Through Coloured Render 3 Wall Finish.
- Approved Fibre Cement Weatherboard (4) Cladding. Colours to be confirmed.
- (5) Approved Stone Wall Finish. Colour to be confirmed.
- (6) Upvc Double Glazed Windows, Screens and Doors. Colour White.
- (7) Upvc fascias and soffits. Colour White.
- (8) Upvc Rainwater Goods. Colour White.



FRONTELEVATION OPTION 2



RIGHT SIDE ELEVATION

OPTION 2



- Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.



REAR ELEVATION OPTION 2

Pen-y-Porth, Burry Port. HOUSE TYPE G2 4 Bedroom House | 1237 sq ft OPTION G2 ELEVATIONS Scale 1:100 @ A3

2

7

(8)

3

3

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FFL +0.000

FFL +2.722

2249-206-03 Elevations Rev A 4 Bedroom House | 1237 sq ft







GROUND FLOOR PLAN OPTIONS G1,G2

Pen-y-Porth, Burry Port. HOUSE TYPE G1, G2 4 Bedroom House

OPTION G1 PLANS | 1237 sq ft Scale 1:100 @ A3

2249-206-01 Plans Rev A 4 Bedroom House | 1237 sq ft



Page 101

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3-

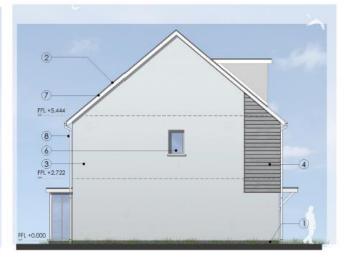
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FRONT ELEVATION OPTION 1

OPTION 1



LEFT SIDE ELEVATION OPTION 1

OPTION 1



EXTERNAL MATERIAL FINISHES SCHEDULE:

- Approved Engineering brickwork to plinth. Colour Blue.
- Roof Tiles. Approved Concrete Tiles. Colour Grey.
- (3) Approved Through Coloured Render Wall Finish.
- (4) Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- (5) Approved Stone Wall Finish, Colour to be confirmed.
- (6) Upvc Double Glazed Windows, Screens and Doors, Colour White.
- (7) Upvc fascias and soffits. Colour White,
- (8) Upvc Rainwater Goods. Colour White.

Pen-y-Porth, Burry Port. HOUSE TYPE H1 4 Bedroom House | 1422 sq ft OPTION H1 ELEVATIONS Scale 1:100 @ A3 2249-207-02 Elevations 4 Bedroom House | 1422 sq ft





FIRST FLOOR PLAN OPTION HI



SECOND FLOOR PLAN OPTION HI



GROUND FLOOR PLAN OPTION HI

Page 103

Pen-y-Porth, Burry Port. HOUSE TYPE H1 4 Bedroom House | 1422 sq ft OPTION H1 PLANS Scale 1:100 @ A3 2249-207-01 Plans 4 Bedroom House | 1422 sq ft





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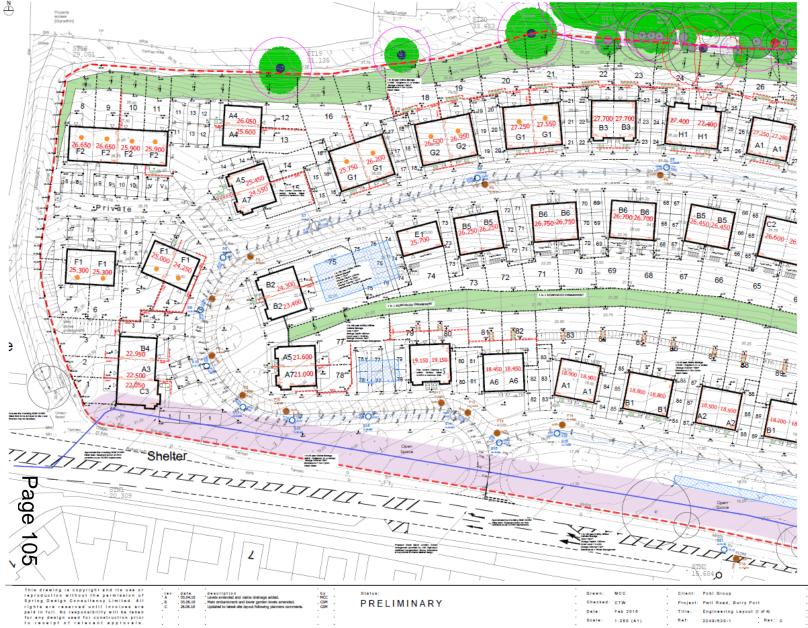
PRELIMINARY

Checked: CTW Project: Pwll Road, Burry Port Date: April 2018 Title: Engineering Layout (1:800) Scale: 1:500 (A1) Raf: 2249/510 Rev: /

sprinq Unit 2 Chapel Barra | Merthyr Maw/ Bridgenc | CF320L8 | S1856 856287 Mail@epring-consultancy.co.us

Where existing trees are shown to be related they should

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The Constantion is to deals and welfly all building and all dimensions, levels and sever levels fill build a points before work starts. Any decrepancy is to b reported to Spring Design before work commences.

The Contractor is to comply in all respects with current building legislation - Runting Standard Specifications, Rulting Rescalations etc., whether or our specification

Rulding Regulations, etc., whether or not specifically gated on this drawing.

The drawing must be read with and checked against an structural, geotechnical or other specialist documentation provided.

The drawing is not insended is show deals of instructions, ground evidence is ground contentents, liked may of ground where your to support may should be provide abused on the standard second in provide abused to the second ground contines. Any ground, abused to father inseligated by a statistic separt ground, abused to father inseligated by a statistic separt show a statistical provides and the statistic separt abused to father inseligated by a statistic separt abused to father inseligated by a statistic separt abused to father inseligated by a statistic separt abused by a statistic separt based on the statistic separt abused by the statistic separt based on the statistic separt abused by the statistic separt based on the statistic separt abused by the statistic separt based on the statistic separt abused by the statistic separt based on the statistic separt abused by the statistic separt based on the statistic separt abused by the statistic separt based on the statistic separt abused by the statistic separt based on the statistic separt abused by th

where existing trees are shown to be retained they should be subject to a full Actorizational inspection for safety.

The existing ground levels along the node of the proposed road are to be confirmed by the Contextor before works commence.

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All construction methods and materials employed are to be in accordance with the current road and belopeonts specification. All road construction thistoreaus are to be

confinette. confinette y suitable C.R.R. Isetting in accordance with Carmattenative County Cound regimements. No responsibility will be taken for any conduction work

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spring

Unit 2 Chapel Barns | Merthyr Mawr Bridgend | CF32 0LS | 01656 656267 mail@spring-cancultansy.cs.uk



NUMBER ALL RECTEMENTS

points before work dark. Any champency is to be reported to Sping Design before work constrainers. The Contraction is to control is all respects with context

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The drawing must be need with and sheaked against an structure, genterchrisel or other specialist documentation constant.

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Agreement are to be constructed in accordance with the Local Highway Adhorty's current specification and to the addression of the Local Highway Authority's longineer

Al sanstructor methods and naterials employed are to be in accordance with the surrent tood and bridgesoria specification. Al read construction thinknesses are to be

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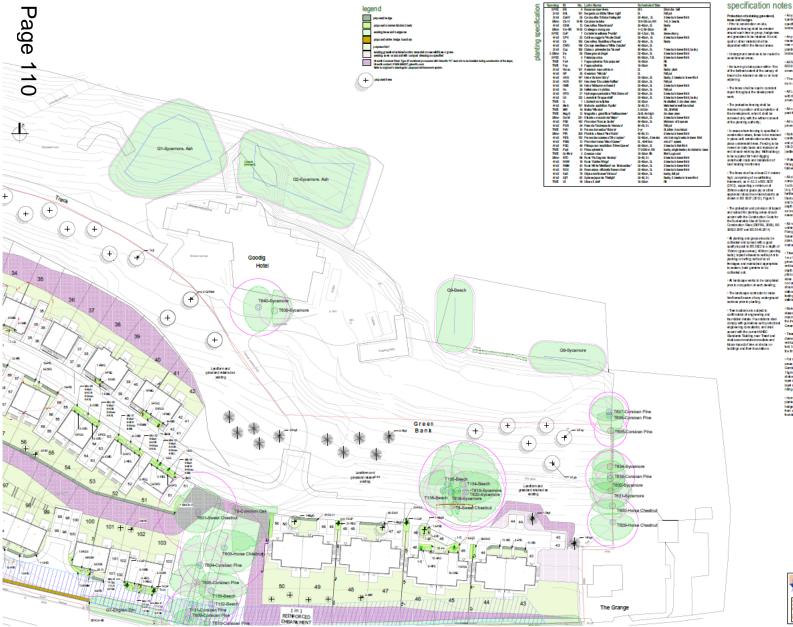
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A saver or lateral dails doubt not be to Tees / lactes / shute that the langy of height, except when special printeton provided (e.g. one of appropriate barriers has been been as weathrough a series.



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Any proposed substitutions, wheth a peckes, cultivar, polisize or other specification, multible approved by landscape and bled phorio planting Any significant layout changes

neous stating revise ddetails (pachas new relaining wate cating shafe on planing tech (should be reported to be landscape and should be reported to be All Numery Stack to comply with 053936 Part 11992 and all subargs amondments; The upply and planting of trees with be in accordance with DS 0545 2014 Al Landscape operations to comply with 0544201989 and all subsequent smerchants; All cardainergrown stackto be in peak-the composit • All native stock to be local proversing a · Batt matchie in datt brown miad coniterbark of particle size 8-35mm and pitrange5.6-7.0 is BS PAS 100-2005; matchie in laid 1075mm (milled) deploy Waking to continue as required throughout the ignoring a second following planting All planting back and planto receive compart during collectors of a wile of imatio 2008 and alow misuse bettiere (or planted refl and an 2009) planting for tilter to two play; bedatobe literacyby wakened blooks planting and batter maximg 72mm (ad bad) depth bark making blooks practice are seen beidter better better. • The privation and providen of the privation scale and the privation of the privation o intuiter • Templa to be ex

⁶ • Tength to be exaculated contributes from a first adjusted model to happing ground, mathetisherizated boson and wellion allow the noises have minimum depth broughted. Direktop before of philos adjust of 150mm and and and/y allow. Philos be bed filled with specific non-emposite becaused the hoff latent should be applied where specific deficiences have been filled by adjusted by helds and hafettime advances has dediced.

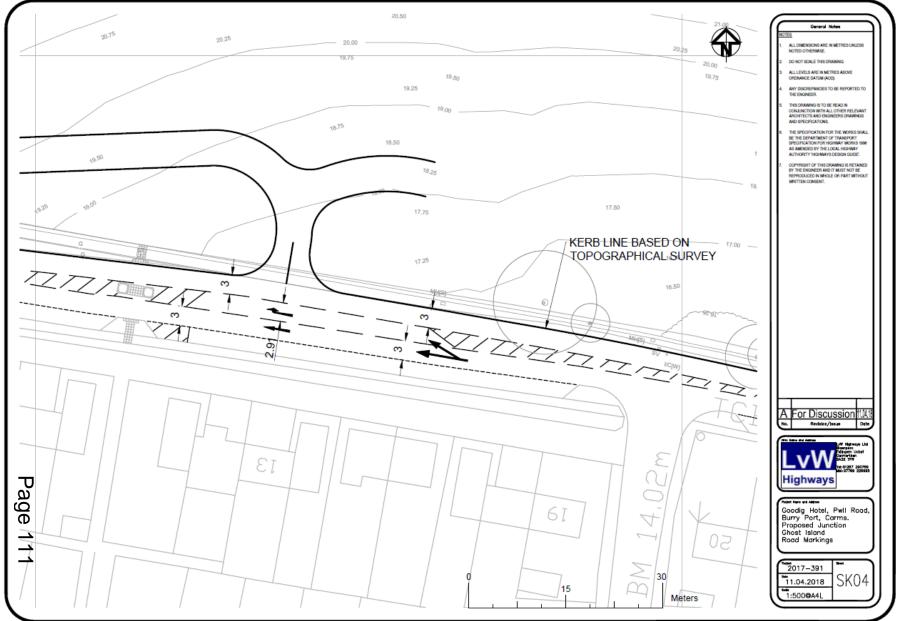
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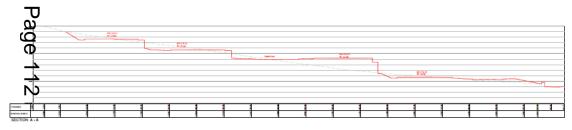
diameter matched bed with neutrand wetical edges cal withhalf moon edging lod; bed to be related weed two for the find time years following planting;

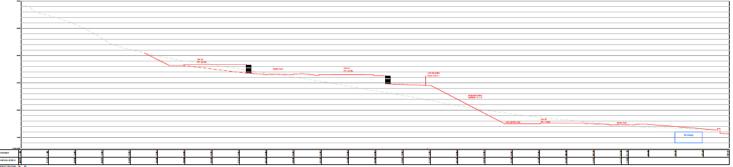
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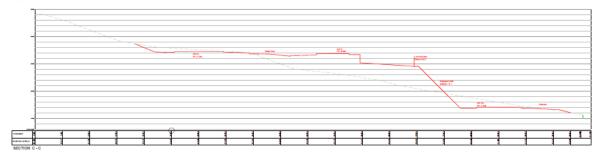
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This drawing is to demonstrate an initial engineering concept, highlight fails and provide guidance for early cost planning. The design of the levels and drainage is subject to change at the detailed design stage and following consultations with key statishicher including NEW, DCWW and Caraminenshine Courty Council.

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	to receipt of relevant approvals.							scale:	1:200 (A1)	Ref:	2249/501-3 . Rev:	· .	mail@spring-consultancy.co.uk



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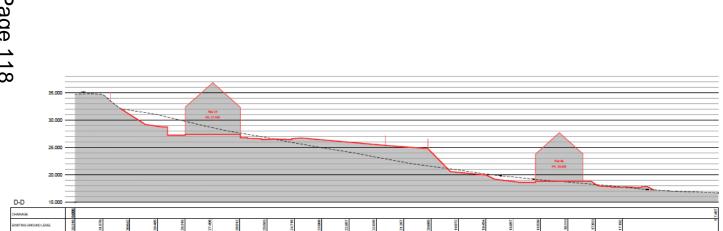


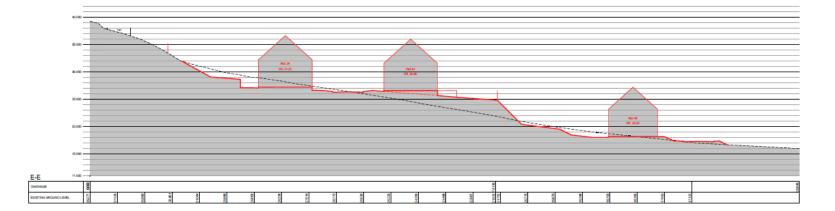
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GENERAL NOTES

The Contractor is to check and verify all building and alle dimensions, levels and sever invert levels at contraction points before work starts. Ally charapaney is to be reported to Spring Design before work commences.

The Contractor is to comply in all respects with come building legislation - Rulking Standard Specification Rulking Regulations etc., whether or not specifical stated on this drawing.

The drawing must be need with and checked against a structural, gestechnical or other specialist documentation

Intradicts, grains involves or grand contentions, lead area of grand which give to support any structure appended probability desinged must be investigated by the contractor. A variable method of functions should be provided abusing for all existing grand confilmer, any append of failing grand, configurations, or or within the appendent probability of the structure of the structure appendent of the grand, configuration of the structure appendent of the structure of the structure of the appendent probability of the structure of the structure appendent of the structure of the structure of the appendent probability of the structure of the structur

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The existing ground levels along the node of the proposed road are to be confirmed by the Contractor before works commence.

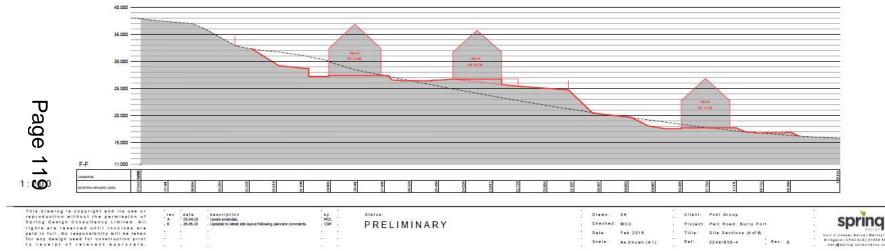
All made which are to be the earliest of a flection 28 Agreement are to be constructed in accordance with the Local Highway Autority's correct specification and to the estimation of the Local Highway Autority's Highwar.

> All condituation methods and materials employed are to be in accordance with the current load and bidgeworks specification. All read construction thisknesses are to be confirmed by subside C.B.R. bedrog in accordance with Carmachershite County Council regularments.

No responsibility will be taken for any construction work understates prior to receipt of technical approvels for the bittended construction, or when work is not executed sticity is accordance with the drawings.

A sever or lateral dash should not be located closer to trees / busines / dirubs than the canopy with at mature height, except where special protection measures are provided (e.g. one of appropriate barriers or constructed from payagingene with webbac plant).





SEVERAL NOTER The Contractor is to check and welly at

dimensions, levels and some lovel levels at point before such stats. Any decessory

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The enlating ground levels along the node of the proposed road are to be continued by the Contractor before works

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Unit 2 Chapel Barns | Werlbyr Waw Bridgens | CF22 DLS | State 6 655297 mail@spring-cancultancy.co.ct

Rer: B

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2249/835-4

Scale: As Shown (A1)

GENERAL NOTES The Contractor is to sheek and verify all building and site dimensions, levels and sever invert levels at connection coints before work starts. Any discrepancy is to be

This drawing is Each area of ground relied upon to sup depided (including drainage) must be in Contraction: A suitable method of four provided suspect along for all edding ground o or flad ground, contaminants on should be further investigated as

Where existing trees are be existent to a full Arborit

The existing group road are to be con-

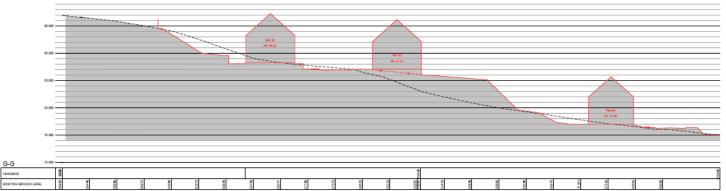
All roads which to be the subject of a S Local Highway Authority's current specification and to the addition of the Local Highway Authority's Engineer.

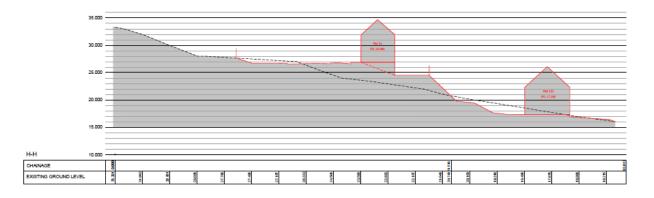
current road and bridgeworks accordance with the or pecification. All road core

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No responsibility will be taken for any conditudio undefinitien prior to receipt of technical approvals intended conditution, or when work is not execution structure with the drawings.

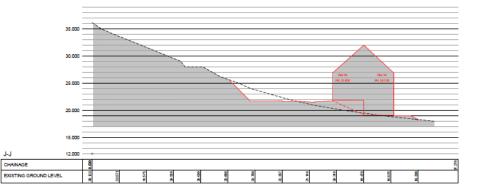
A sever or lateral drain should not be located closer to trees / backes / should than the second with at mature height, succet where special protection measures are provided (e.g. one of appropriate bankes or constructed from pulped plane with webbe (plane).





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Page 121

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paid in full. No responsibility will be taken for any design used for construction prior to receipt of relevant approvals.			Date: Feb.2018 Title: Site Sections (Kof6) Scale: 1:200 (A1) Ref: 2246/635-6 Rev: B	Unit 2 Chapel Barse Merthyr Mawr Bridgenel (CF32 OL& (31656 656267 Mail@apring-consultancy.co.sk

GENERAL NOTES-

The Contractor is to sheek and welfy all building and alle dimensions, levels and seven invest levels at connection points before work darks. Any discogramy is to be recorded to forther before works work commonse.

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Where existing trees are shown to be retained they sho be existent to a full Arbonizational inspection for safety.

The existing ground levels along the nucle of the proposed read are to be confirmed by the Contractor before works commence.

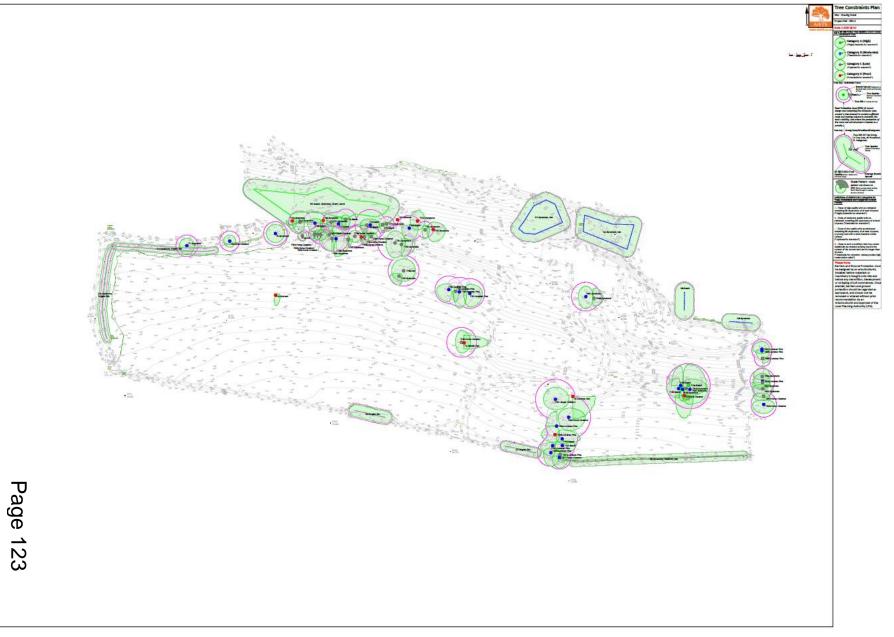
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In accordance with the current rule and bridgeworks specification. All read construction thicknesses are to be confirmed by suitable CRR, testing in accordance with Carrier Structure Control Constructions with Carrier Structure Control Sectors and the control of the Control Sectors and the

No responsibility will be taken for any construction work undertaken prior to receipt of technical approvals for the intended construction, or when work is not executed structly in accordance with the drawings.

A sever or lateral dails shadd not be located sloser to these / backets / shadts that the cancepy with a stimular height, except where special protection measures are provided (e.g. use of appropriate barties or conducted from polyhold price with weeked plants).







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