

Dear Councillor

PLANNING COMMITTEE - TUESDAY, 2ND OCTOBER, 2018

Please find attached copies of the addendae and plans for the above meeting.

Agenda No	Item
-----------	------

- | | |
|----|---|
| 3. | <u>E/37292 - ERECTION OF A DETACHED GARAGE WITH APEX ROOF AT 125 SARON ROAD, SARON, AMMANFORD, SA18 3LH</u> (Pages 5 - 16) |
| 4. | <u>AREA EAST - DETERMINATION OF PLANNING APPLICATIONS</u> (Pages 17 - 32) |
| 5. | <u>AREA WEST - DETERMINATION OF PLANNING APPLICATIONS</u> (Pages 33 - 60) |
| 6. | <u>AREA SOUTH - DETERMINATION OF PLANNING APPLICATIONS</u> (Pages 61 - 138) |

Yours sincerely

Mark James CBE

Chief Executive

Encs

***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

02 HYDREF2018

02 OCTOBER 2018

***RHANBARTH Y
DWYRAIN***

**AREA
EAST**

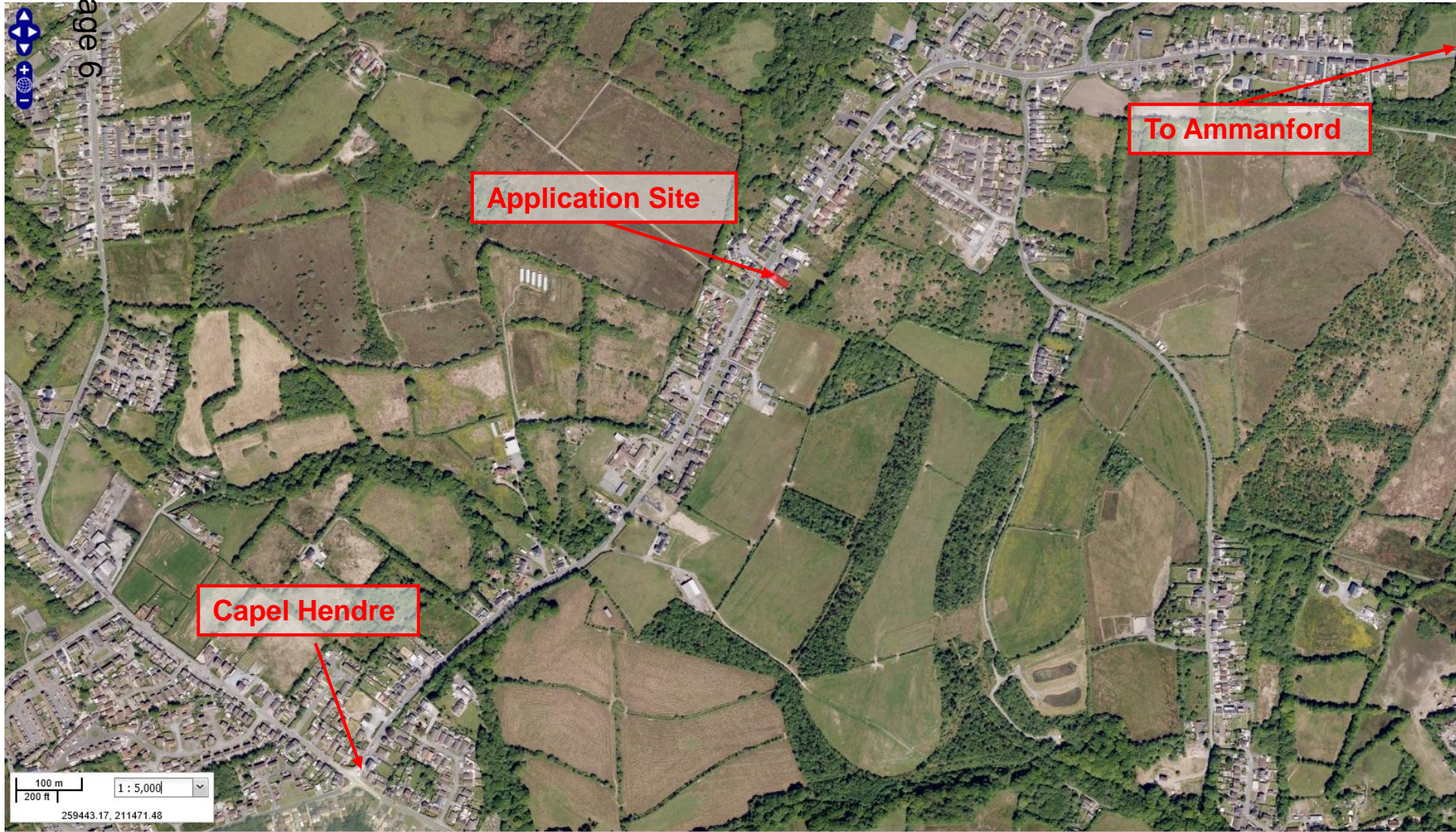
CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL

E/37292

E/37292

Page 6



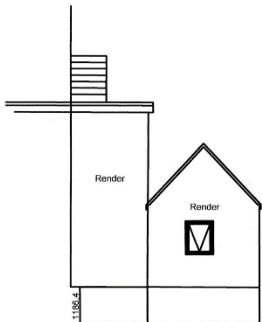
E/37292



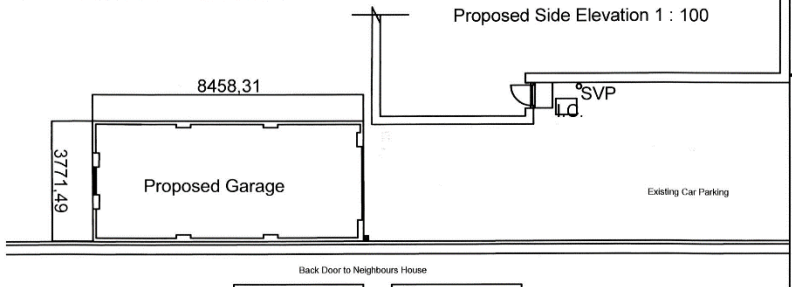
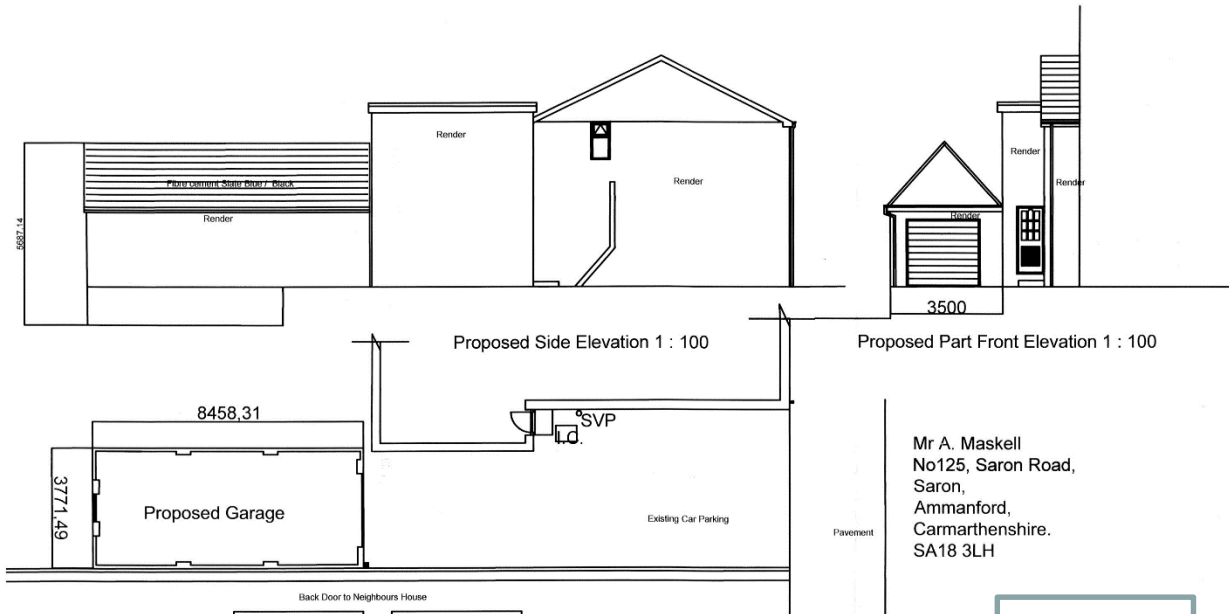
E/37292

Page 8

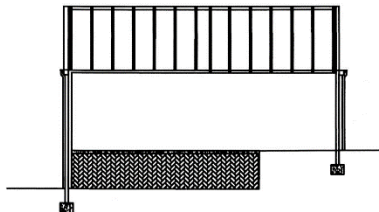




Proposed Part Rear Elevation 1 : 100



Proposed Part Ground Floor Plan and Part Site Plan 1 : 100



Proposed Section 1 : 100

Mr A. Maskell
No125, Saron Road,
Saron,
Ammanford,
Carmarthenshire.
SA18 3LH



E/37292

Page 10



E/37292



E/37292

Page 12





E/37292

This page is intentionally left blank

**ADRODDIAD PENNAETH CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE HEAD OF
PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 02 HYDREF 2018
ON 02 OCTOBER 2018**

**I'W BENDERFYNU
FOR DECISION**

**ATODIAD
ADDENDUM**

*Ardal
Dwyrain/
Area East*



ADDENDUM – Area East

<i>Application Number</i>	E/37720
<i>Proposal & Location</i>	ERECTION OF A STEEL PORTAL FRAMED BUILDING, WITH CONCRETE PANEL WALLS AND BOX PROFILE STEEL SHEETING TO THE EAVES FOR USE OF A COVERED MANURE STORE, TOGETHER WITH ALL OTHER ASSOCIATED WORKS AT GODRE GARREG, LLANGADOG, SA19 9DA

DETAILS:

CONSULTATIONS

Natural Resources Wales (NRW) - Following the receipt of the further details requested in terms of the storage capacity, design and construction of the proposed manure store, NRW has now responded that there are no objections to the proposed development.

Landscape Officer – Offers no objection to the application subject to the imposition of two conditions with regard to the construction exclusion zone around specific landscape elements and to secure compliance with submitted landscaping scheme respectively.

The two recommended conditions shall be included in place of conditions 11 and 12 as shown in the report.

Planning Ecologist – Has commented that there are no ecological concerns other than ensuring the legislation in relation to the Special Area of Conservation (SAC) is met and assessments are carried out following due process. The application will need a TLSE that needs to be informed by NRW's response to the new information which is outstanding.

The recently received NRW reply referred to above has now been forwarded to Ecologist to enable the TLSE to be undertaken. The recommendation that planning permission is granted is subject to the satisfactory conclusion of the TLSE process.

Neighbours/Public - Fourteen further letters of objection have now been received which reiterate the objections referred to in the report and raise the following concerns:-

- As the local member has declared an interest there is no local representative to act on behalf of the objectors.
- The manure store building should have been included in the initial application for the poultry unit.
- The report was written before the end of the consultation period which concluded on 28th September; how can a fully informed recommendation be made without all of the relevant information being available?
- There does not appear to be any record/reference to the objections in the report – 'in effect planning permission has been granted before the end of the consultation period'.

- The strength of and the need to ensure compliance with any conditions which may be imposed - the applicant has already breached planning conditions.
- The welfare of the chickens to be housed in the poultry unit.
- The provision and location of a vehicular parking space on the common.
- The officer presenting the application to the Committee does not have the in-depth knowledge of the case officer and the determination should be deferred until the case officer is available.

THIRD PARTY REPRESENTATIONS

Having regard to each of the concerns referred to above:-

Although no communication has been received from the local member Cllr Andrew James in this application he did formally declare an interest in the previous application (E/33695) for the poultry unit.

Members may recall that the applicant amended the location of the poultry unit during the course of application E/33695 so as to be closer to the main farm complex to address concerns expressed by the committee at the time of the initial consideration of the proposal. While those revised plans sought to introduce the provision of the manure storage building it was considered that the application had to remain of the same type i.e. for the poultry unit only, and the manure storage building would have to be the subject of a subsequent application.

It is acknowledged that the report was drafted before the expiration of the consultation period; the outstanding information subsequently received is referred to in this addendum.

There is reference to the objections received in the main report, which is updated in this addendum.

Again it is acknowledged that there is a need to ensure compliance with the conditions imposed on the permission. The report notes the breach of condition with regard to work having commenced before permission for the manure storage building has been secured and conveys the part the determination of this application has in considering the expediency of any enforcement action. A second concern in respect of work commencing before the stipulated 8:00 am has been conveyed to the applicant's agent.

The welfare of the chickens to be housed in the poultry unit and the provision of the vehicular parking space on the common are not material considerations in the determination of this application.

The comment in respect of the officer presenting the application to the Committee does not have the in-depth knowledge of the case officer and the determination should be deferred until the case officer is available is a statement of opinion. While the case officer does have a day to day involvement in the application it is the usual practice that a senior colleague presents the application to Committee.

Correction:-

At the head of page 17 in addressing the first concern in the 'Third Party Representations' section, the report refers to the approved poultry unit building being '...8.2m with the chimneys'. The approved poultry unit building is 6.09m to the ridge with the chimneys 1.5m above i.e. a total height of 7.59m. The sentence should therefore correctly read:-

"The ridge of the proposed building will be 8.3 metres above the ground level and whilst the height will be higher than the proposed poultry unit at 7.6 metres with the chimneys; it does not excessively exceed the height of the existing agricultural buildings at the farm;..."

***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

02 HYDREF 2018

02 OCTOBER 2018

***RHANBARTH Y
DWYRAIN***

**AREA
EAST**

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL

E/37720



Godre Garreg

LLANGADOG

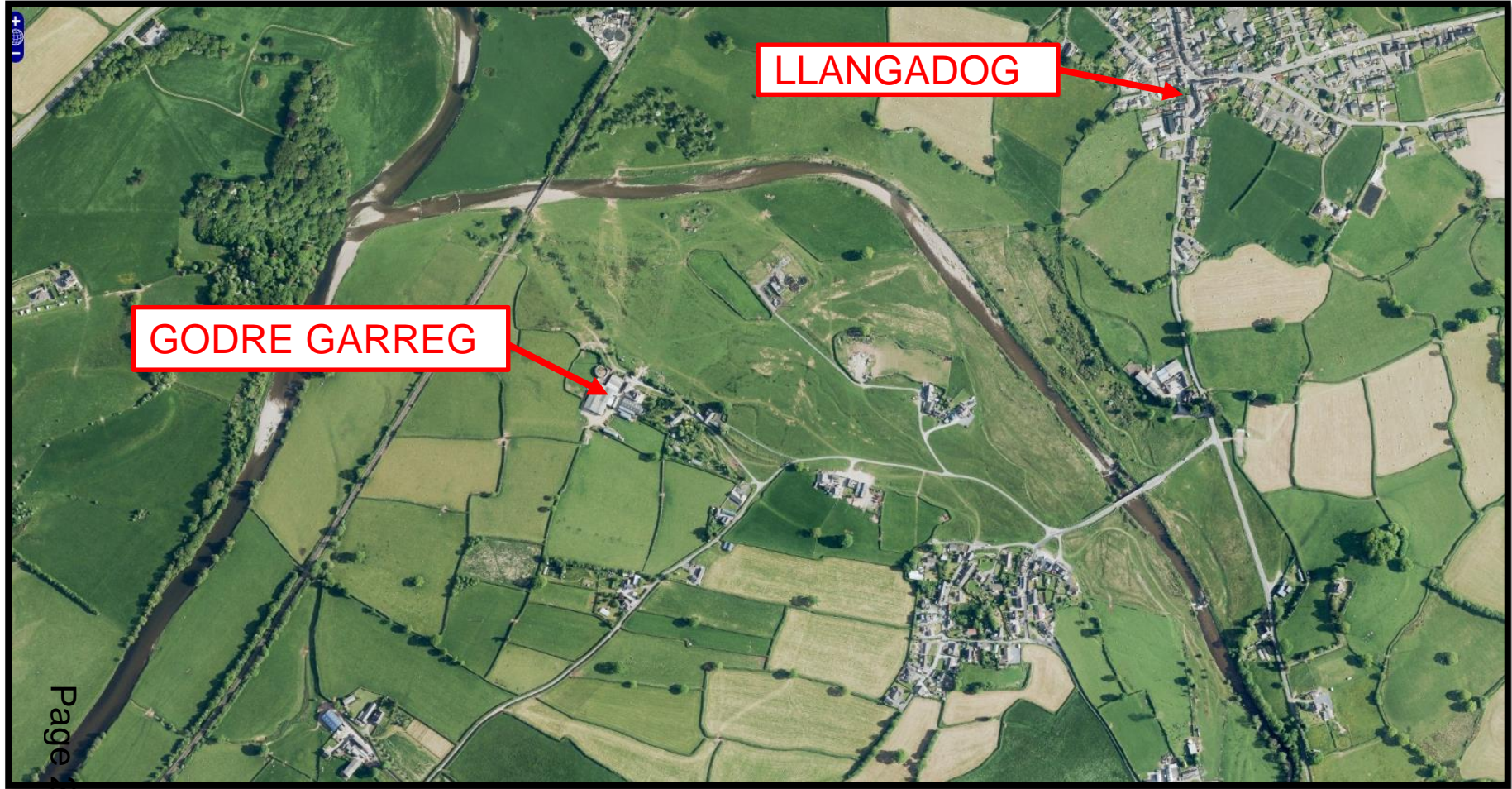
Llangadog

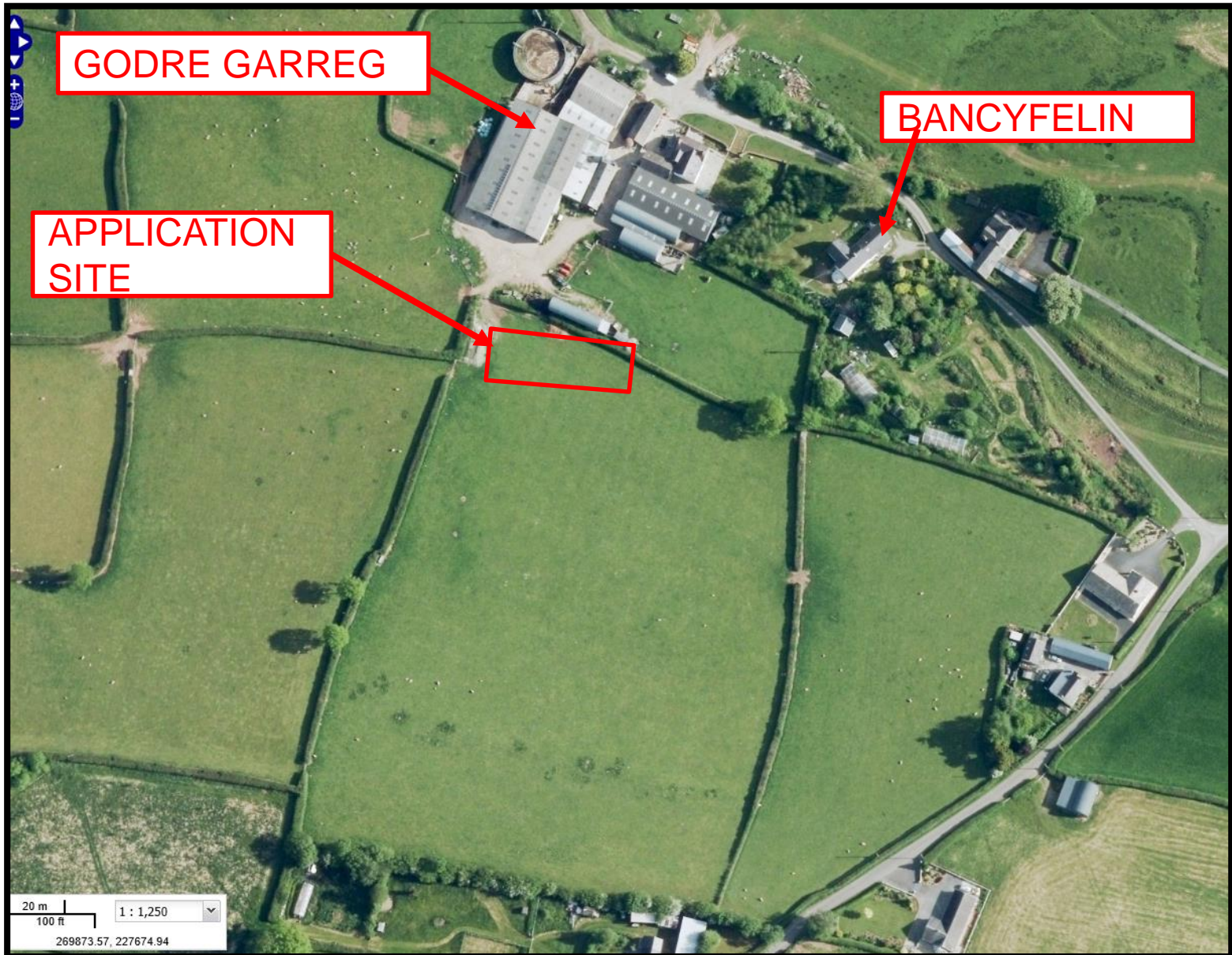
Felindre

Coed Ynys
Hall and Park

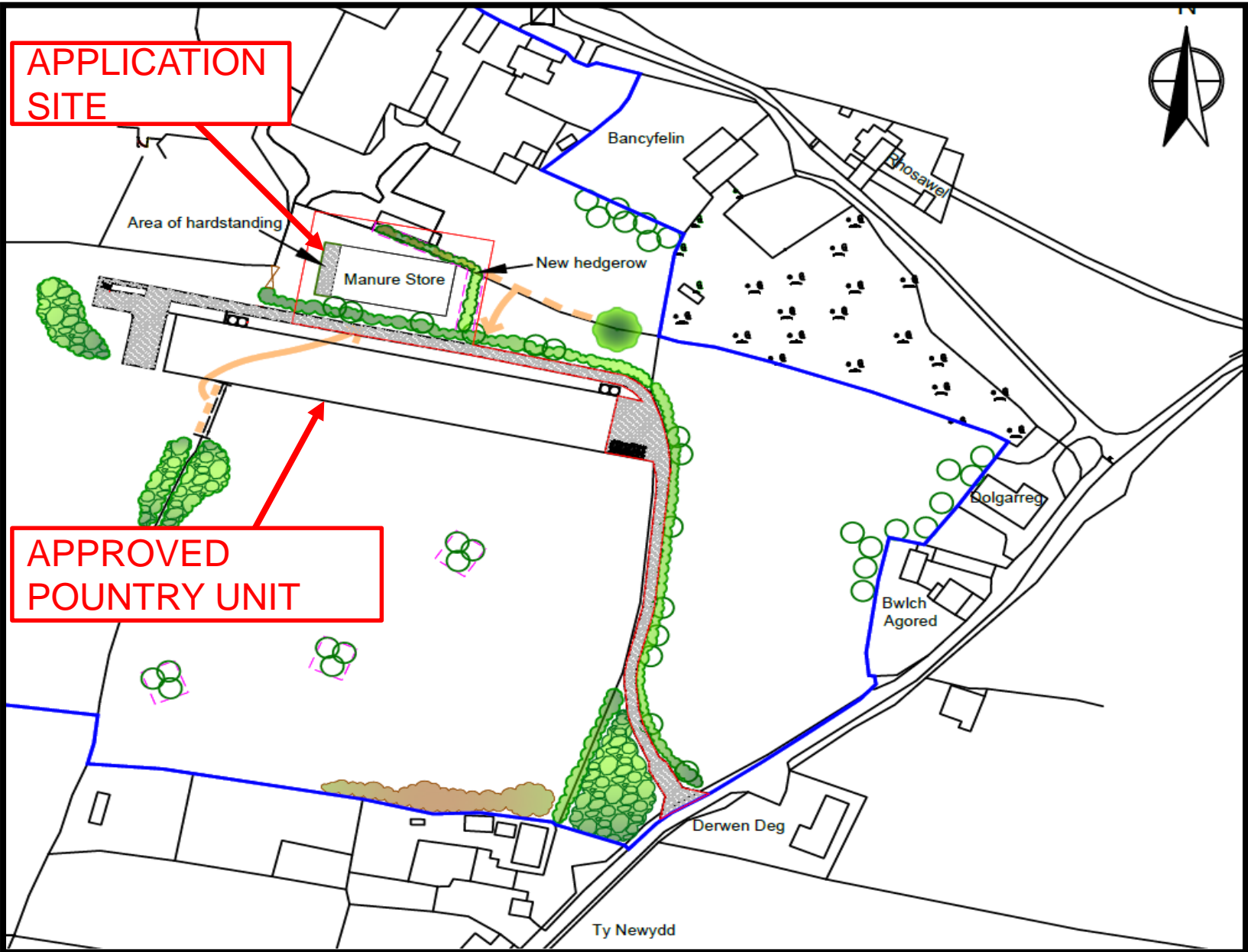
E/37720

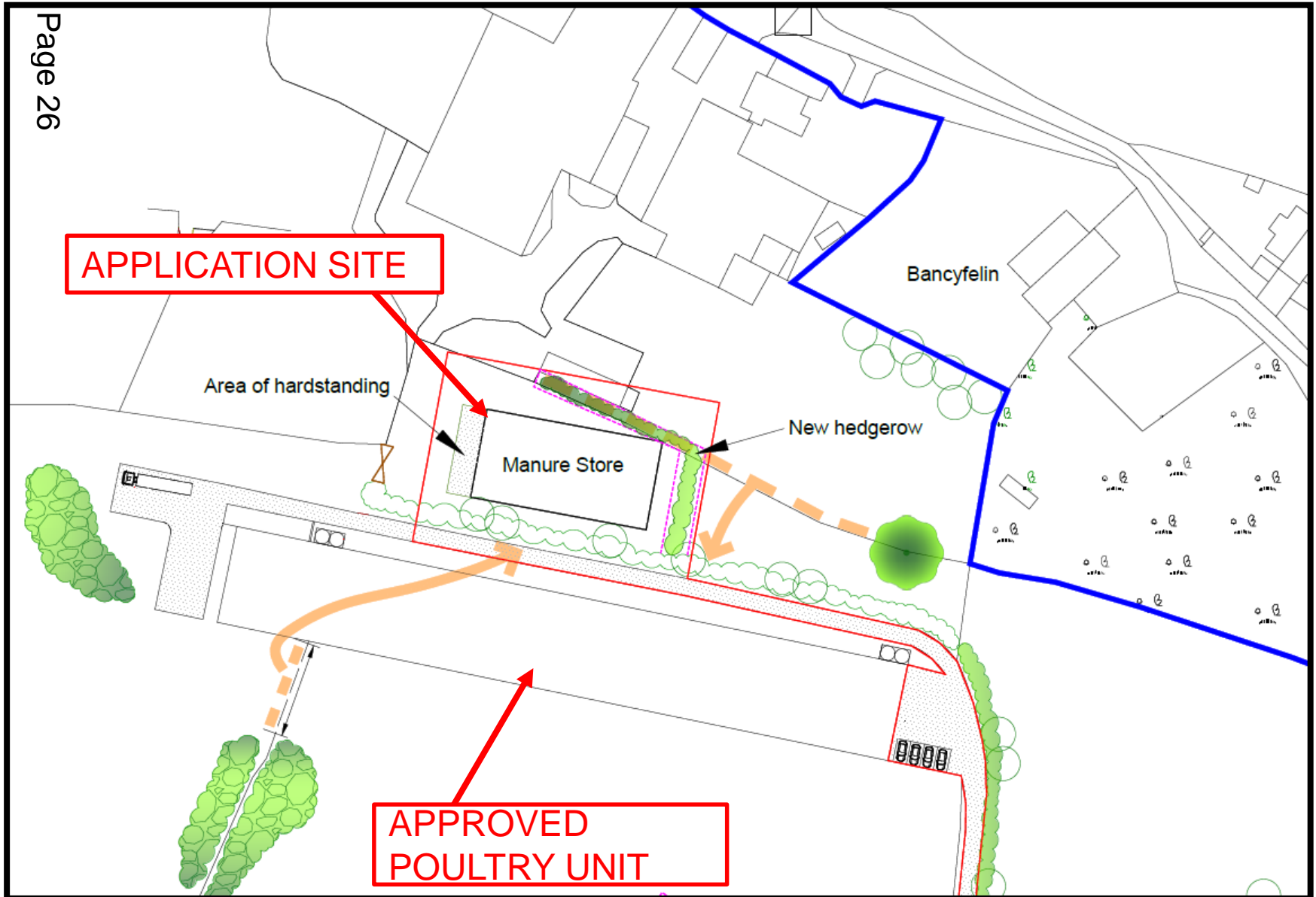
AERIAL LOCATION PLAN

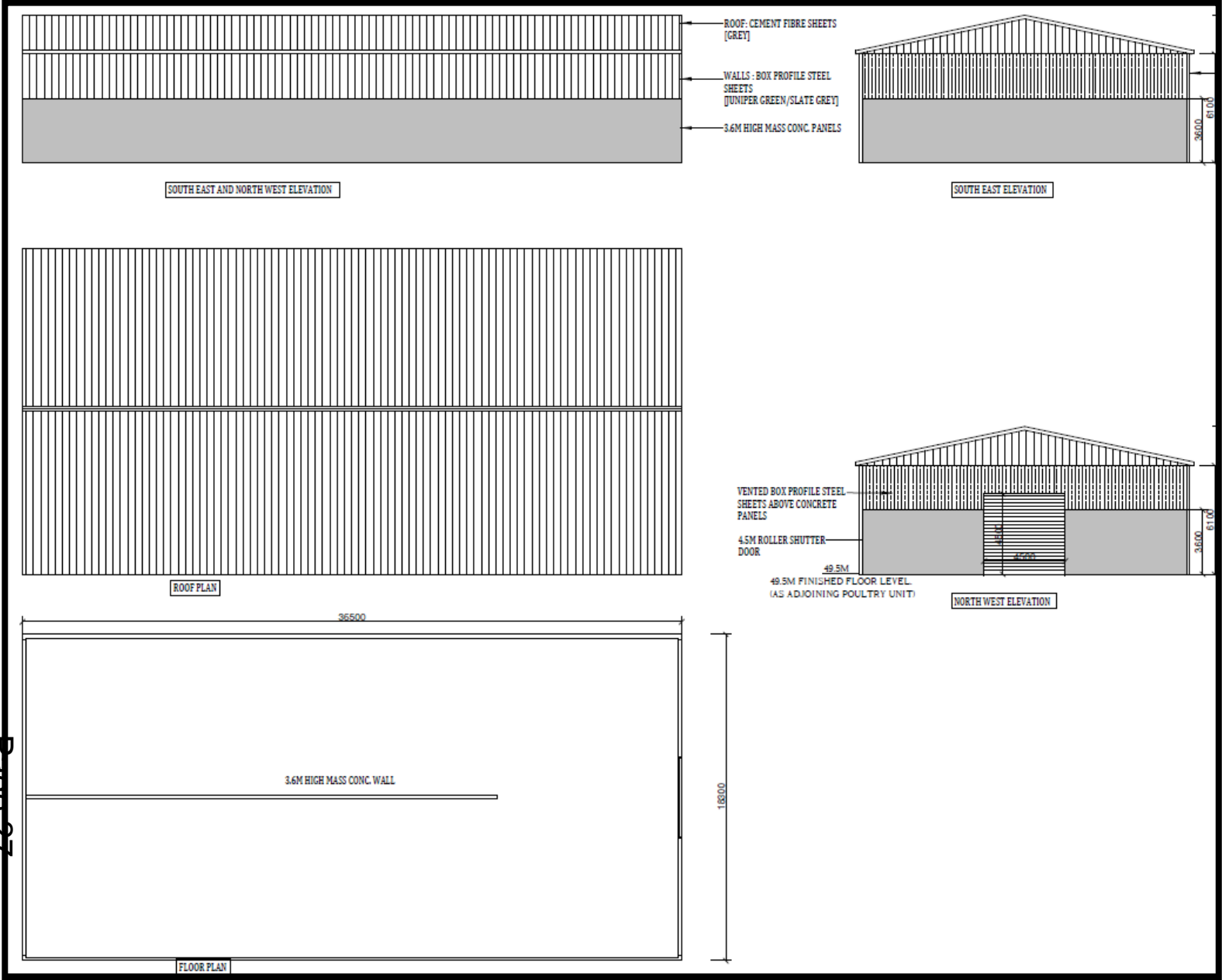




E/37720 SITE AND LANDSCAPING PLAN







E/37720

SITE PHOTO

Page 26



E/37720

SITE PHOTO



E/37720

SITE PHOTO

Page 30



*Ardal
Gorllewin/
Area West*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

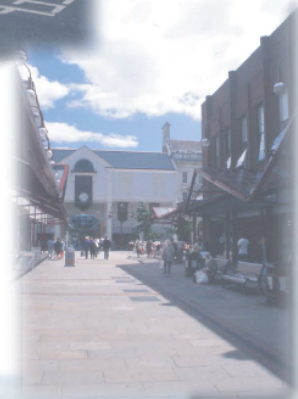
**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 02 HYDREF 2018
ON 02 OCTOBER 2018**

**I'W BENDERFYNU/
FOR DECISION**

ADDENDUM



ADDENDUM – Area West

<i>Application Number</i>	W/37575
<i>Proposal & Location</i>	TWO STOREY EXTENSION TO REAR OF DWELLING AT 13 PLAS PENWERN, JOHNSTOWN, CARMARTHEN, SA31 3PN

DETAILS:

CONSULTATIONS

Local Member – County Councillor G John has requested that the Planning Committee undertake a site visit given that the application property backs onto the properties of Llansteffan Road and Heol y Drindod and it will be difficult for the Committee to assess the potential impact upon existing properties without viewing the property. Councillor John also refers to the concerns raised by neighbours regarding the likely impact of the two storey extension.

Neighbours/Public - A further four letters of objection have been received from adjacent residents in respect of the application which reiterate previous concerns with particular regard to:-

- Loss of privacy;
- Loss of light;
- Impact upon the visual aspect of the estate.

APPRAISAL

The respondents' concerns have been addressed in the main report presented to the Committee wherein it is concluded that the proposal is in accord with the design and amenity objectives of Policies GP1 and GP6 of the Local Development Plan.

The recommendation to approve therefore remains unchanged.

***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

02 HYDREF 2018

02 OCTOBER 2018

***RHANBARTH Y
GORLLEWIN***

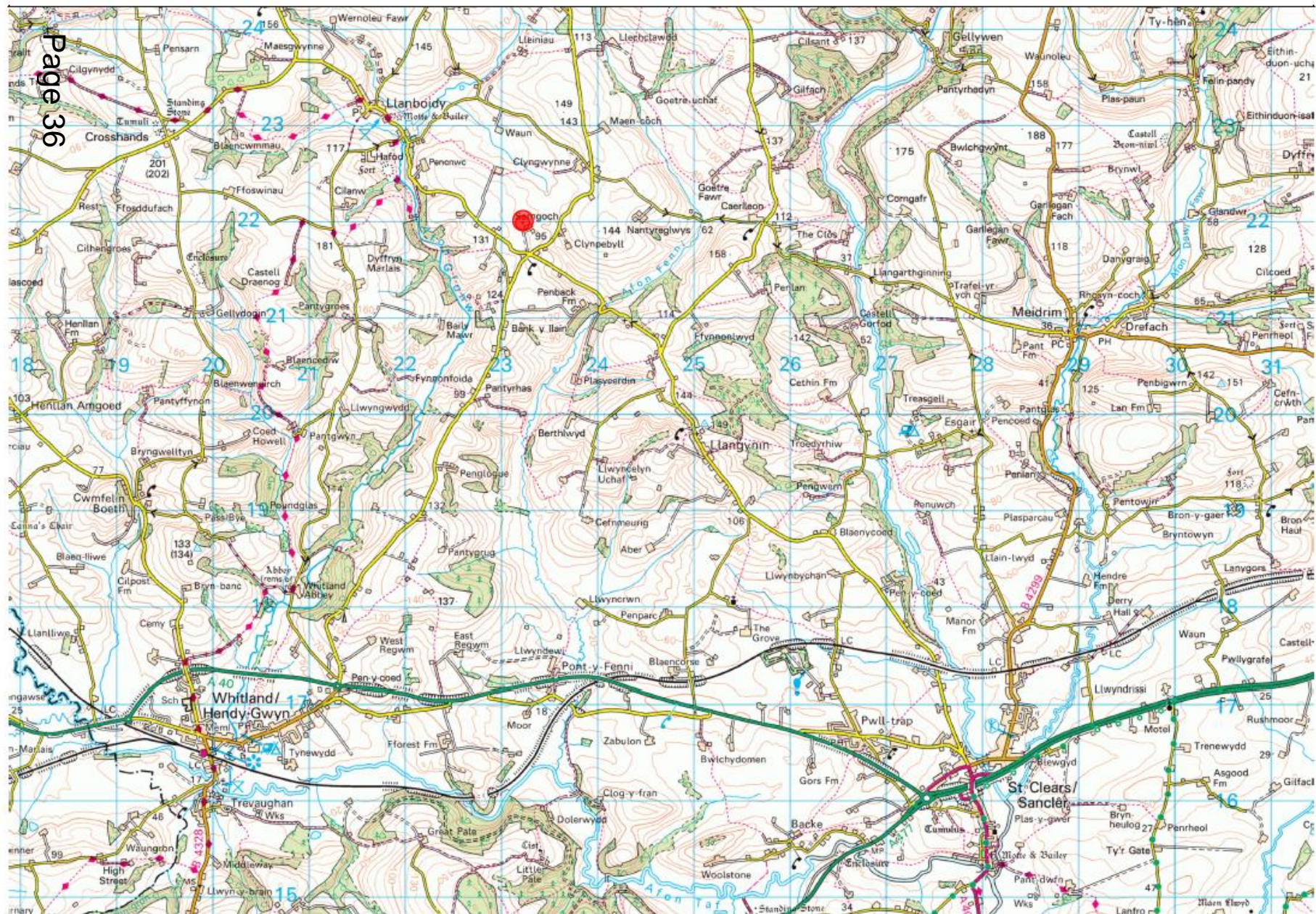
**AREA
WEST**

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

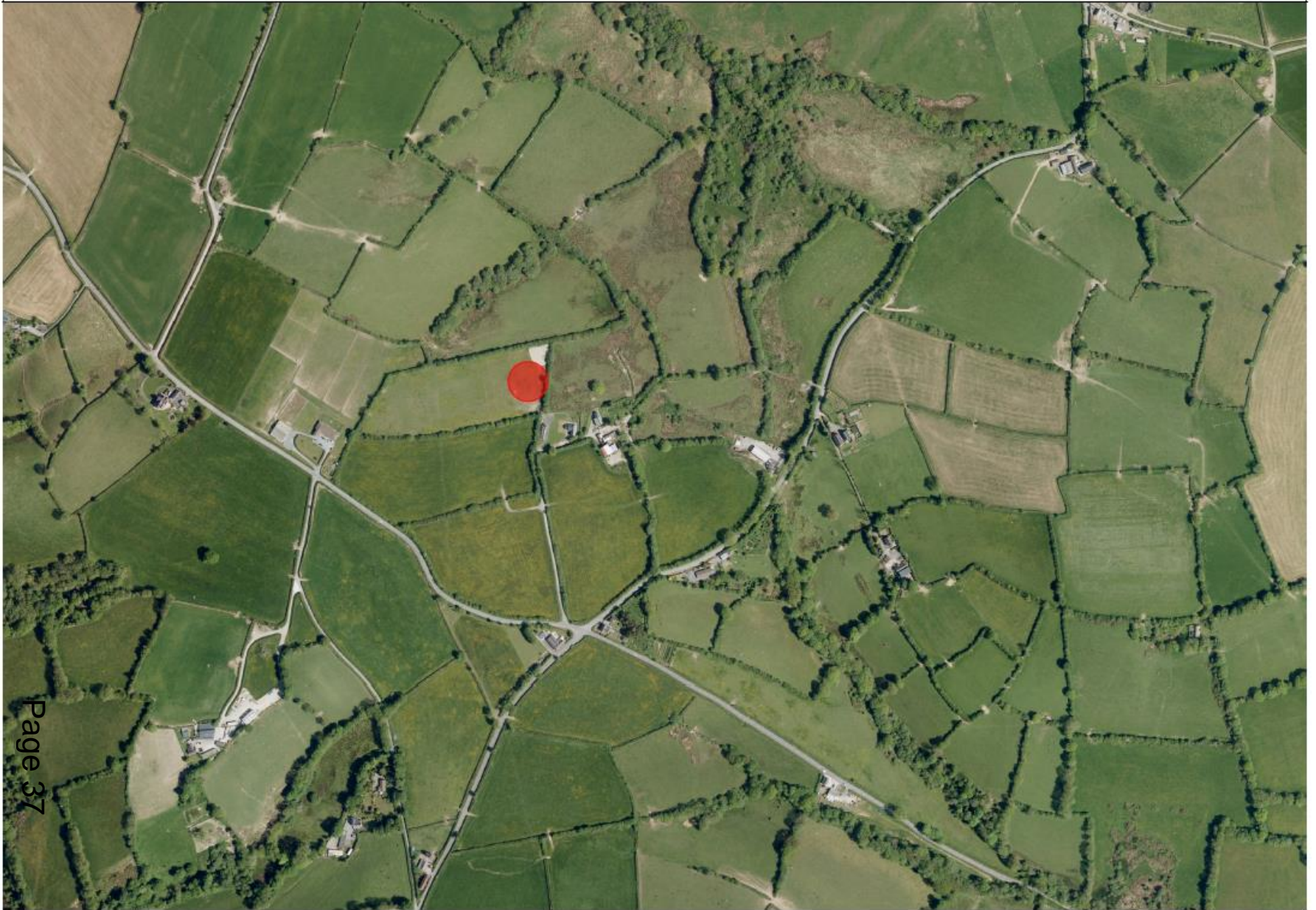
APPLICATIONS RECOMMENDED FOR APPROVAL

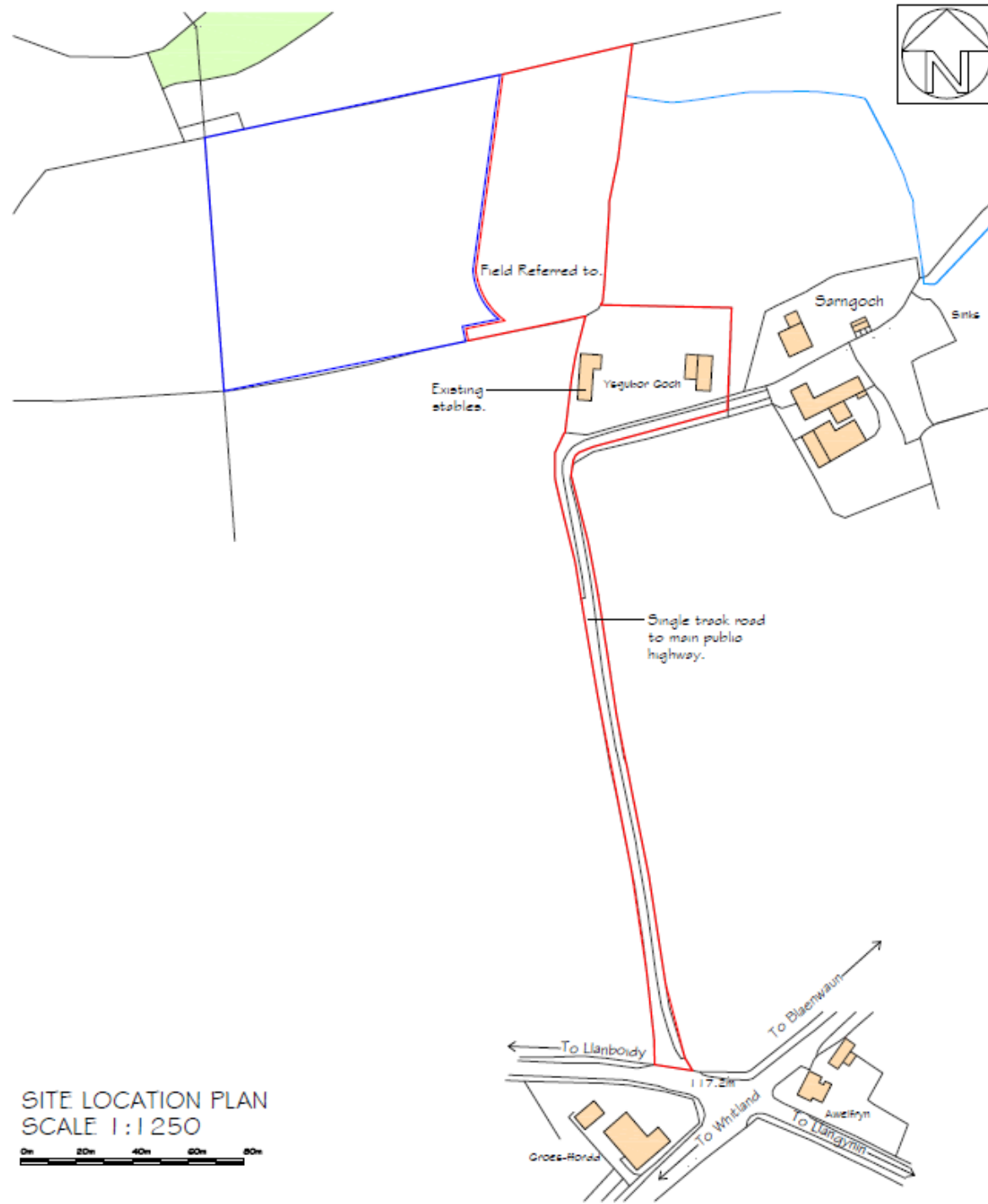
W/37444

Page 36

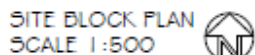


W/37444





Page 39



W/37444

Page 40





W/37444

W/37444

Page 42



W/37444



W/37444

Page 44



W/37444



W/37444

Page 46





W/37444

W/37444

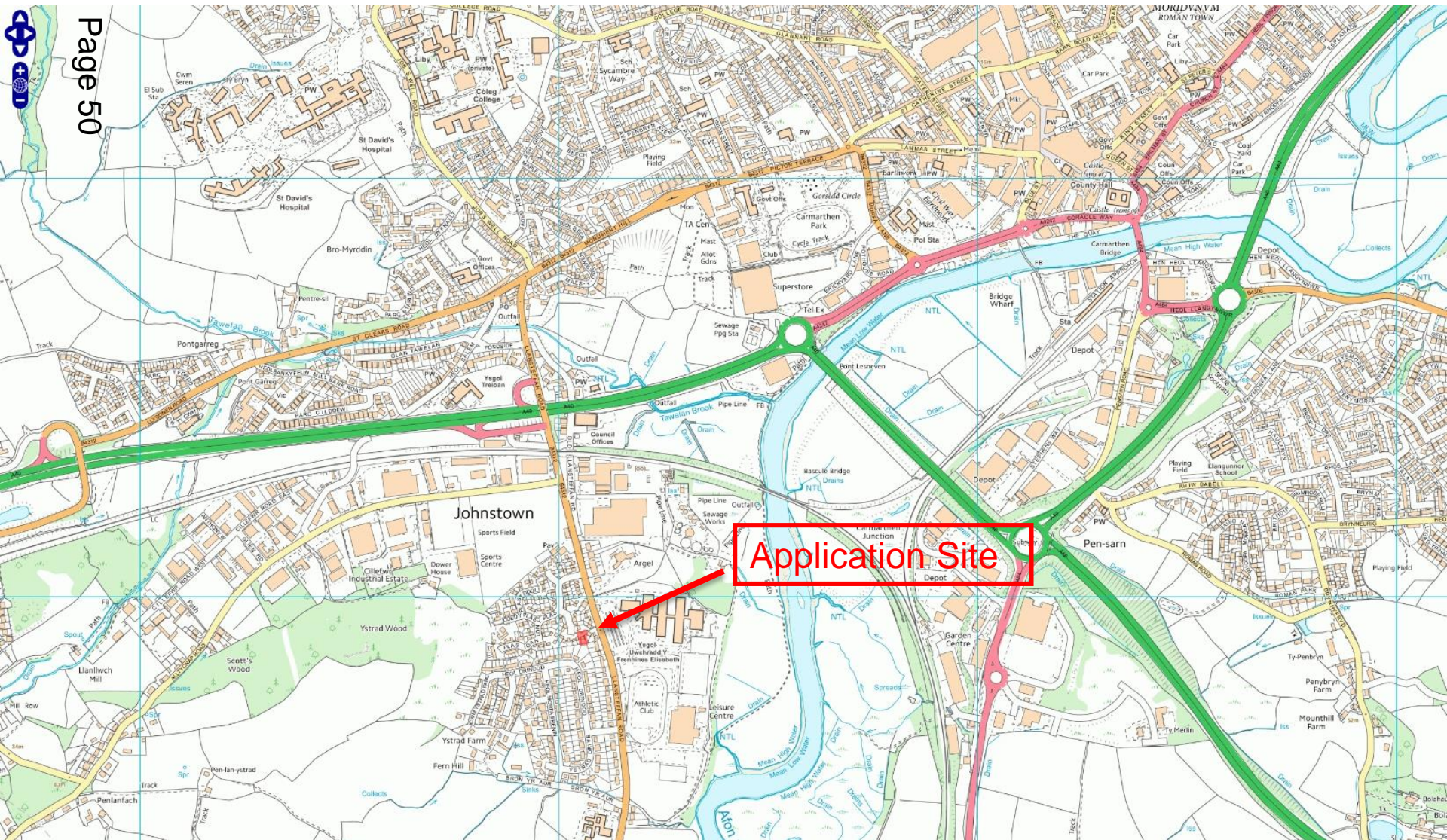
Page 48



W/37575

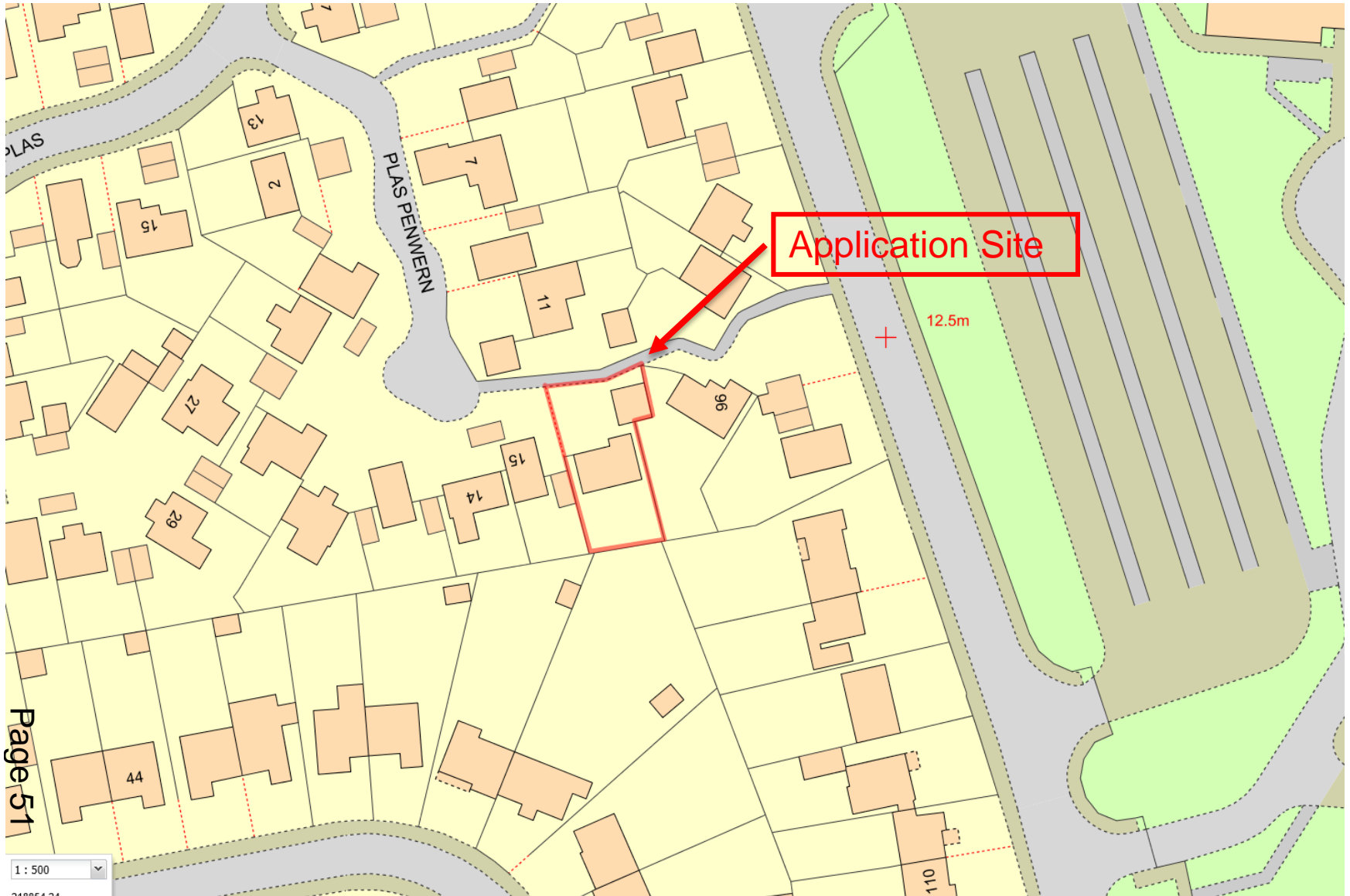
W/37575

LOCATION PLAN



W/37575

SITE PLAN



W/37575

AERIAL SITE PLAN

Page 52



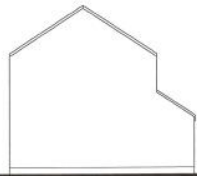
EXISTING



ground floor plan



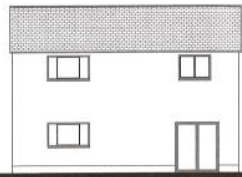
first floor plan



east elevation



north elevation



south elevation

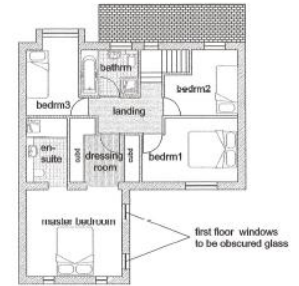


west elevation

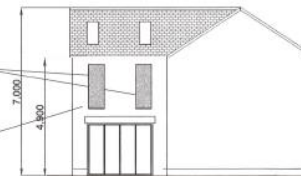
PROPOSED



ground floor plan



first floor plan



east elevation



north elevation



west elevation



south elevation



site plan 1:200



site location plan 1:1250

W/37575

SITE PHOTO

Page 54



W/37575

SITE PHOTO



W/37575

SITE PHOTO

Page 56



W/37575

SITE PHOTO



This page is intentionally left blank

*Ardal De/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 02 HYDREF 2018
ON 02 OCTOBER 2018**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area South

<i>Application Number</i>	S/36993
<i>Proposal & Location</i>	CONSTRUCTION OF 103 NO. DWELLINGHOUSES, ACCESS ROAD AND ASSOCIATED INFRASTRUCTURE AT LAND PART OF FORMER GOODIG HOTEL, PWLL ROAD, BURRY PORT, CARMARTHENSHIRE

DETAILS:

APPRAISAL

Amended Plan – In response to Dwr Cymru/Welsh Water's initial observations highlighting the proximity of one of the proposed dwellings to their trunk water main, the applicant has now submitted an amended plan illustrating how they could re-route the trunk water main to safeguard the required 4m protection zone from their asset. Further consultation with DCWW will now be undertaken.

THIRD PARTY REPRESENTATIONS

In response to objections raised concerning the requirements to comply with the requirements of the Active Travel Plan (Wales) 2013. The Act requires local authorities to produce active travel plans and deliver improvements in active travel routes. In compliance with this requirement, CCC have prepared an Existing Route Map that identifies current walking/cycling routes and have also completed the next stage of implementation delivering the Integrated Network Map (INM).

As part of this planning application no specific off site walking or cycling provisions have been identified as needing attention because the existing local/adjacent highway network has sufficient provision.

***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

02 HYDREF 2018

02 OCTOBER 2018

RHANBARTH Y DE

AREA SOUTH

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL

S/36993

S/36993

Page 64

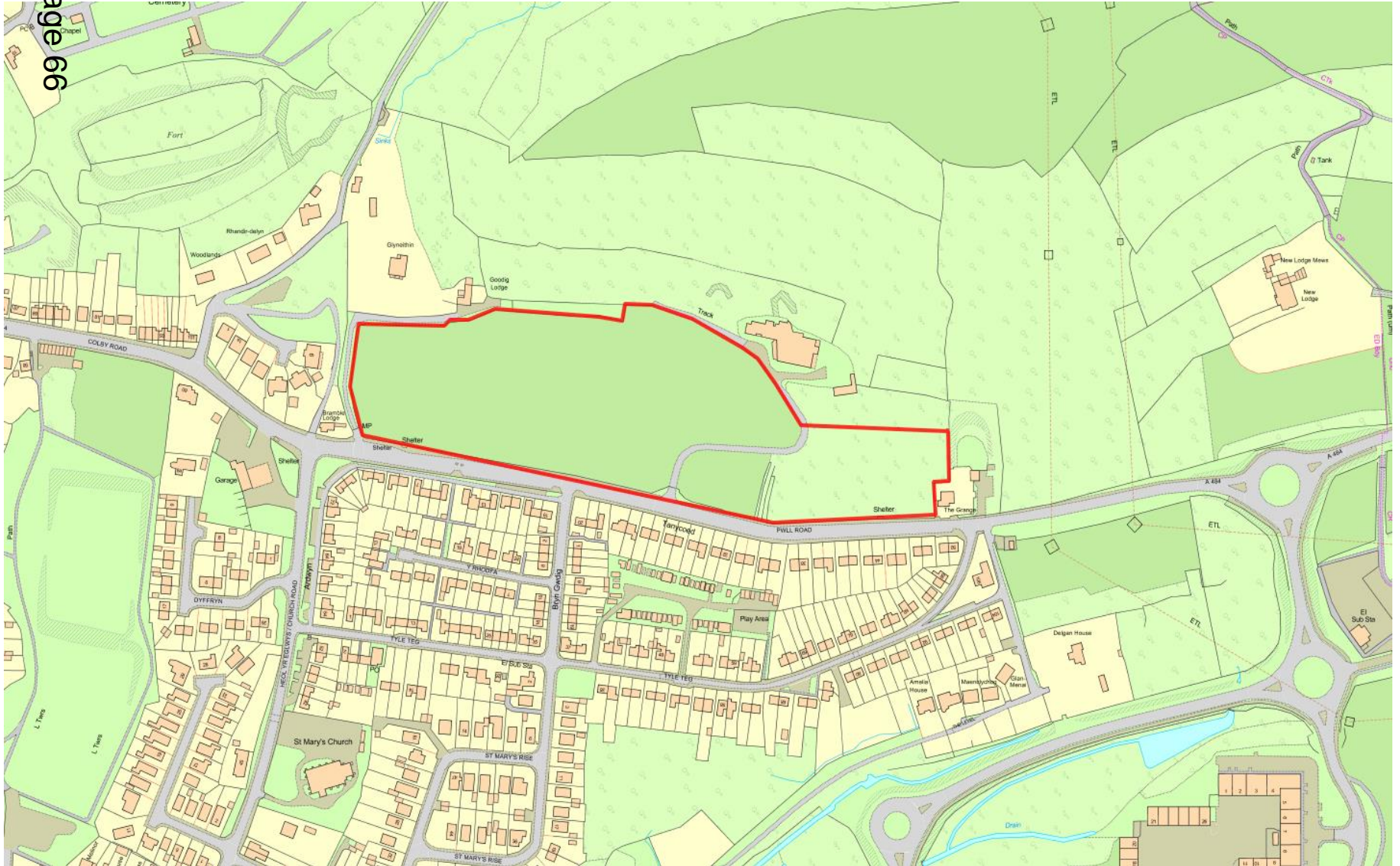


S/36993

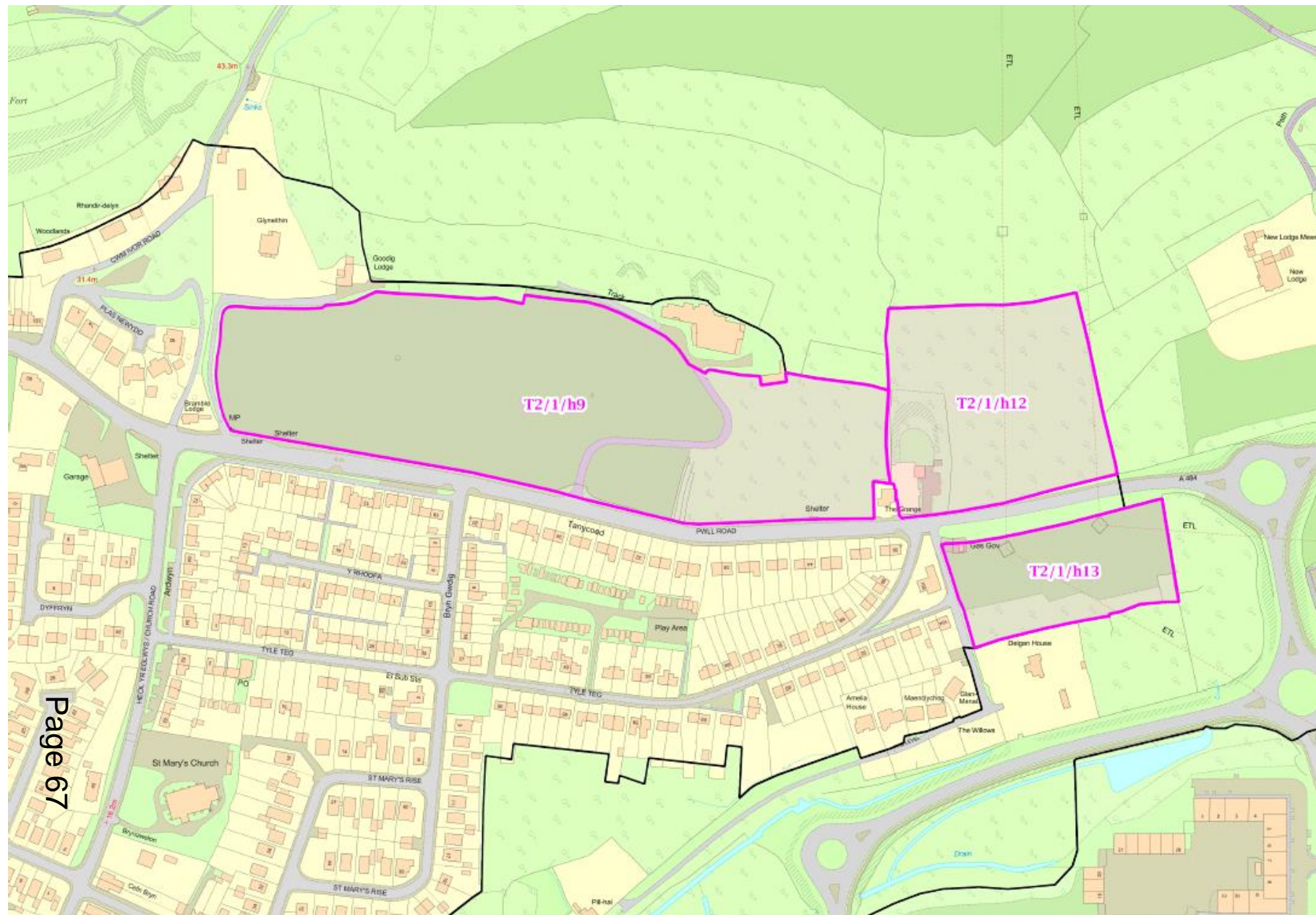


S/36993

Page 66



S/36993





y. (c) Crown Copyright 2017. All rights reserved. Licence number 100022432

A - red line amended. 10.5.17





FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



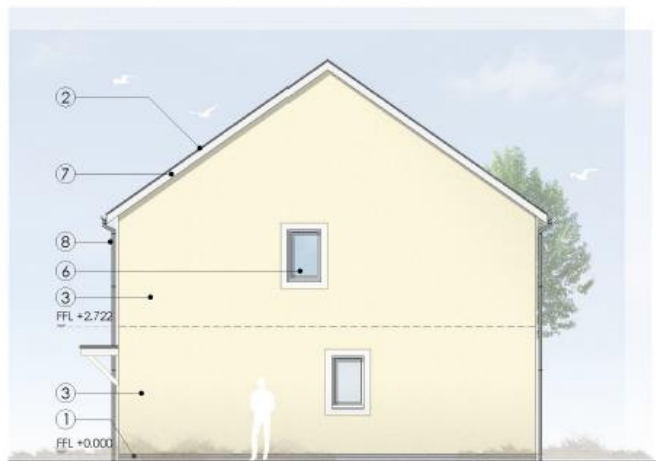
FRONT ELEVATION
OPTION 4



LEFT SIDE ELEVATION
OPTION 4



REAR ELEVATION
OPTION 4



RIGHT SIDE ELEVATION
OPTION 4

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.

S/36993



OPTION A1 PLANS
Scale 1:100 @ A3

2249-200-01 Plans
2 Bedroom House | 764 sq ft



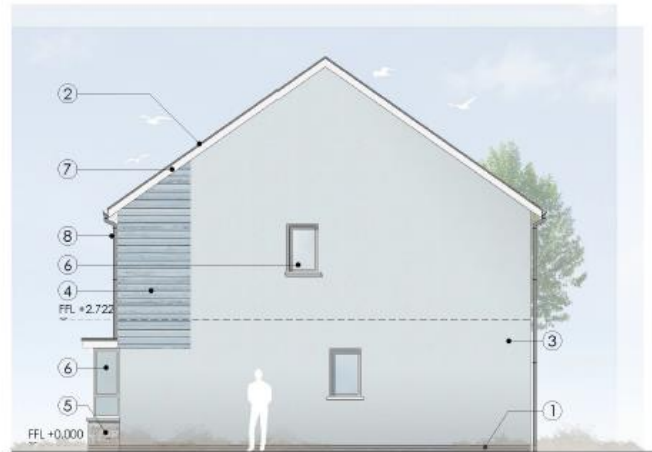
FRONT ELEVATION
OPTION 5



LEFT SIDE ELEVATION
OPTION 5



REAR ELEVATION
OPTION 5

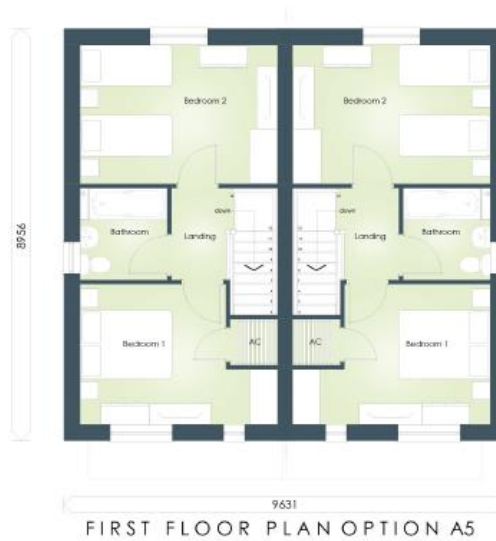


RIGHT SIDE ELEVATION
OPTION 5

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993





FRONT ELEVATION
OPTION 5,7



LEFT SIDE ELEVATION
OPTION 5,7



REAR ELEVATION
OPTION 5,7

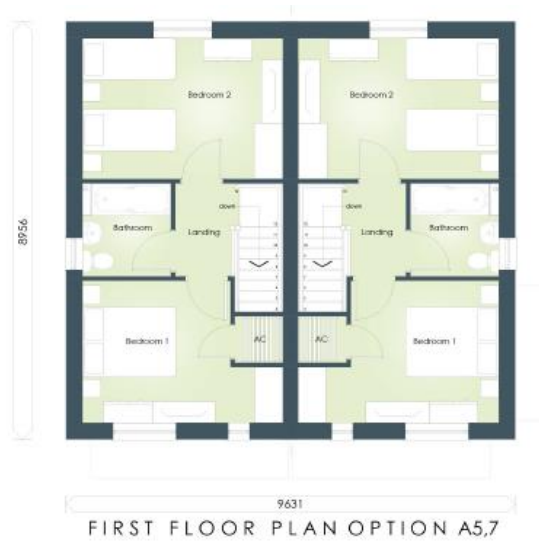


RIGHT SIDE ELEVATION
OPTION 5,7

EXTERNAL MATERIAL FINISHES SCHEDULE:

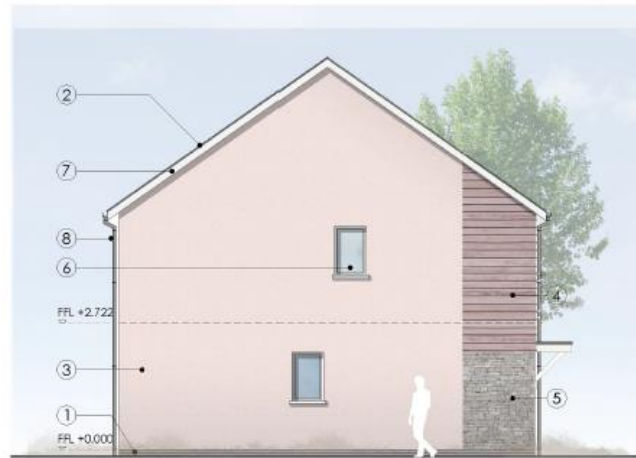
- ① Approved Engineering brickwork to plinth, Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- ⑤ Approved Stone Wall Finish, Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.

S/36993





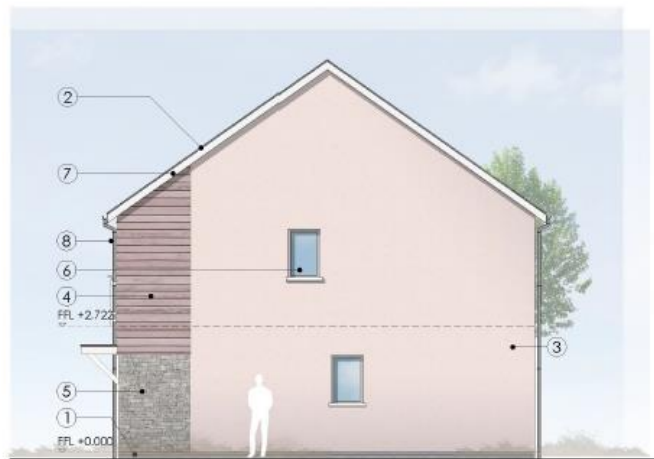
FRONT ELEVATION
OPTION 6



LEFT SIDE ELEVATION
OPTION 6



REAR ELEVATION
OPTION 6



RIGHT SIDE ELEVATION
OPTION 6

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



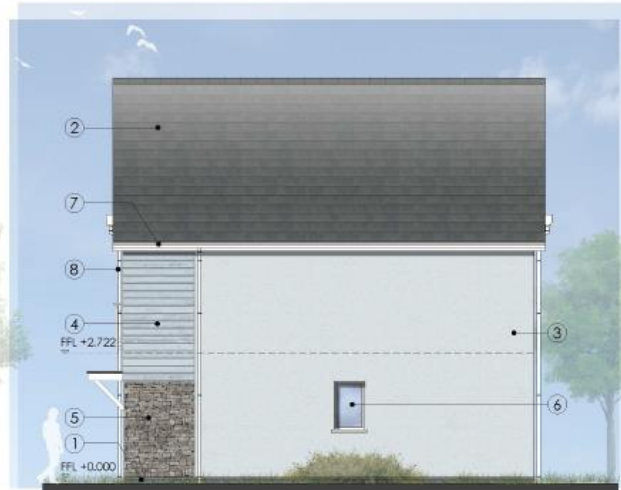
FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



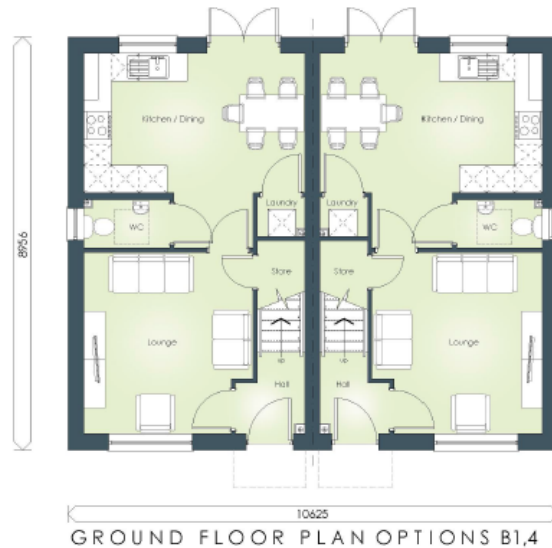
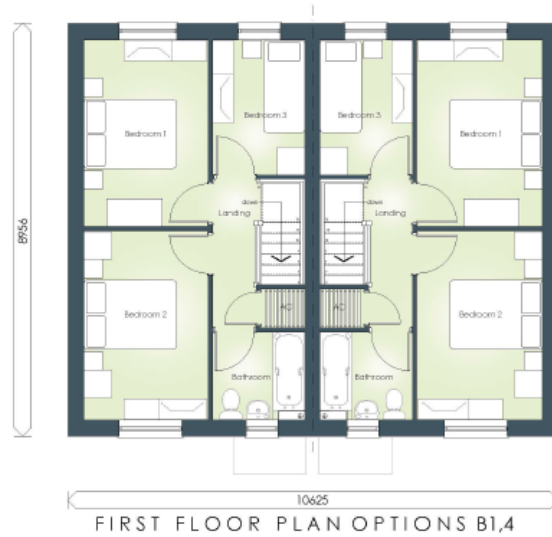
REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

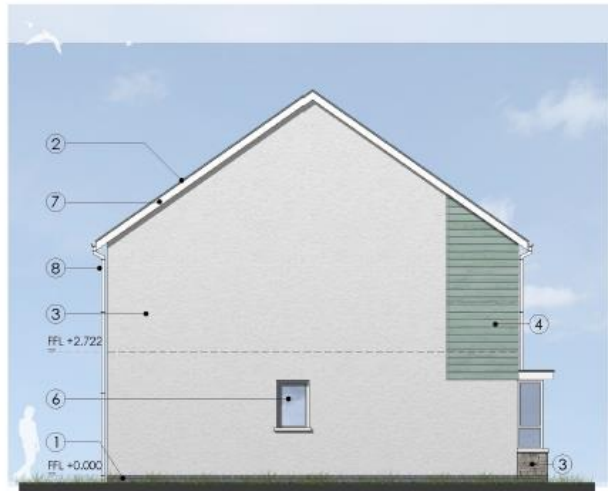
- ① Approved Engineering brickwork to plinth. Colour Blue
- ② Roof Tiles, Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth, Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- ⑤ Approved Stone Wall Finish, Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2



FRONT ELEVATION
OPTION 3



LEFT SIDE ELEVATION
OPTION 3



REAR ELEVATION
OPTION 3



RIGHT SIDE ELEVATION
OPTION 3

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.





FRONT ELEVATION
OPTION 4



LEFT SIDE ELEVATION
OPTION 4



REAR ELEVATION
OPTION 4



RIGHT SIDE ELEVATION
OPTION 4

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth, Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- ⑤ Approved Stone Wall Finish, Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.



FRONT ELEVATION
OPTION 5



LEFT SIDE ELEVATION
OPTION 5



REAR ELEVATION
OPTION 5



RIGHT SIDE ELEVATION
OPTION 5

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles, Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.



FIRST FLOOR PLAN OPTIONS B5,6

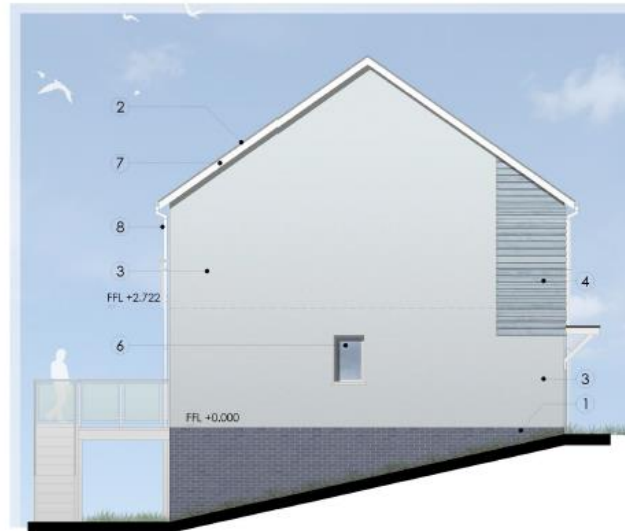


GROUND FLOOR PLAN OPTIONS B5,6

OPTION B5 PLANS
Scale 1:100 @ A3



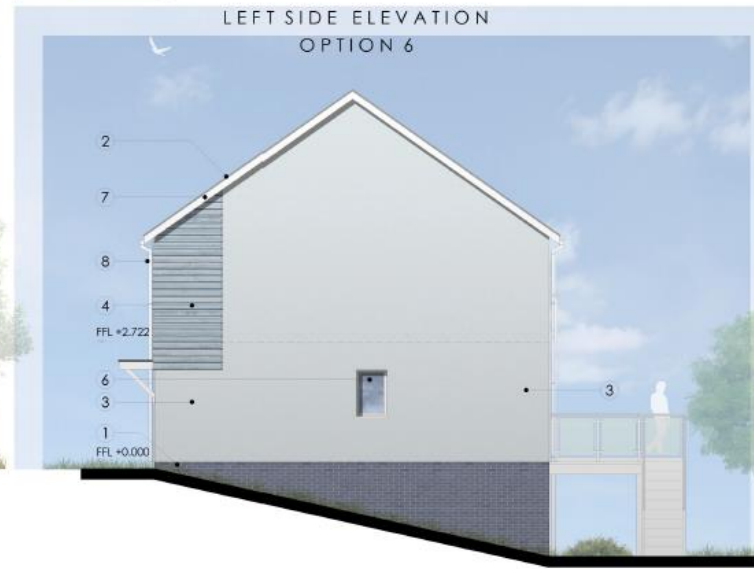
FRONT ELEVATION
OPTION 6



LEFT SIDE ELEVATION
OPTION 6



REAR ELEVATION
OPTION 6



RIGHT SIDE ELEVATION
OPTION 6

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.

S/36993



FIRST FLOOR PLAN OPTION C1



GROUND FLOOR PLAN OPTION C1

OPTION C1 PLANS
Scale 1:100 @ A3

2249-202-01 Plans
4 Bedroom House | 1086 sq ft



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.

S/36993



GROUND FLOOR PLAN OPTION C2



FIRST FLOOR PLAN OPTION C2



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

S/36993



GROUND FLOOR PLAN
8 PERSON 4 BEDROOM HOUSE TYPE



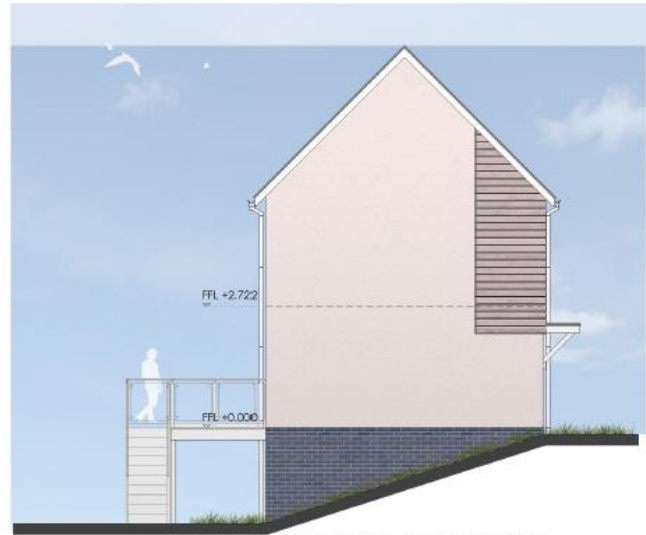
FIRST FLOOR PLAN
8 PERSON 4 BEDROOM HOUSE TYPE



LOWER GROUND FLOOR PLAN
8 PERSON 4 BEDROOM HOUSE TYPE



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

S/36993



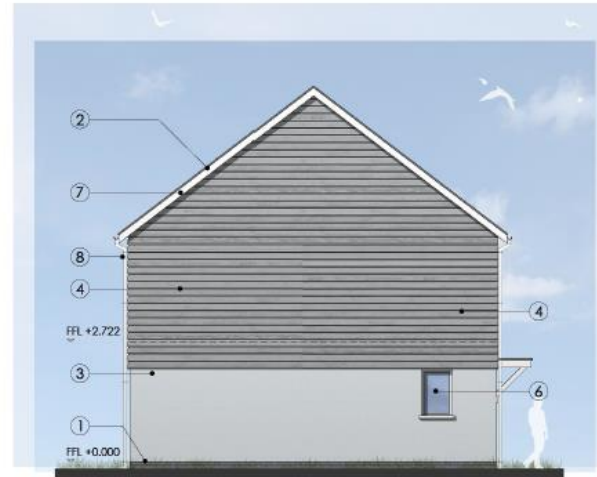
GROUND FLOOR PLAN
6 PERSON 4 BEDROOM HOUSE TYPE WF



FIRST FLOOR PLAN
6 PERSON 4 BEDROOM HOUSE TYPE WF



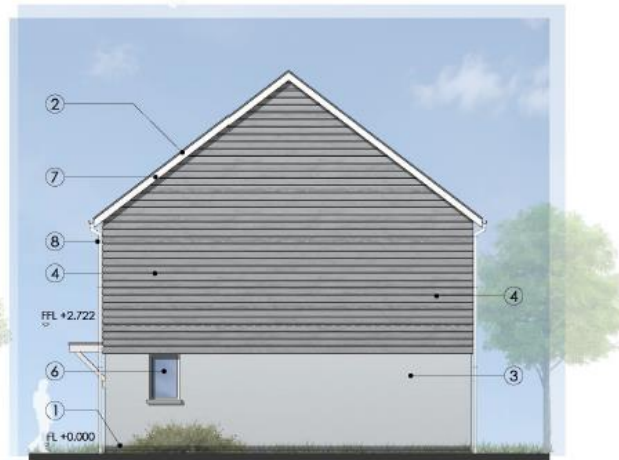
FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

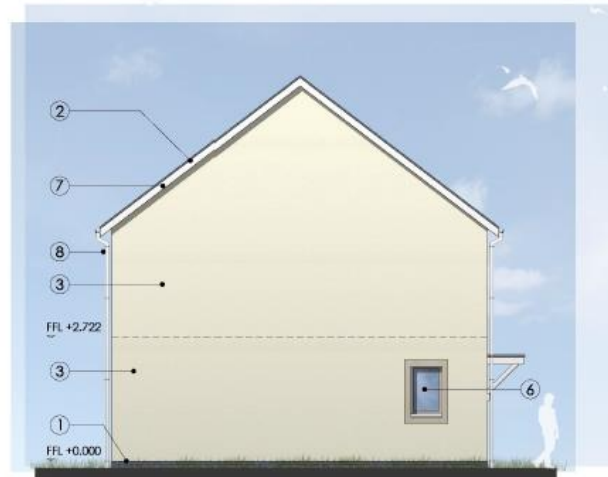
EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2



GROUND FLOOR PLAN OPTIONS F1,2



FIRST FLOOR PLAN OPTIONS F1,2



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth, Colour Blue.
- 2 Roof Tiles, Approved Concrete Tiles, Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- 5 Approved Stone Wall Finish, Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors, Colour White.
- 7 Upvc fascias and soffits, Colour White.
- 8 Upvc Rainwater Goods, Colour White.



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2



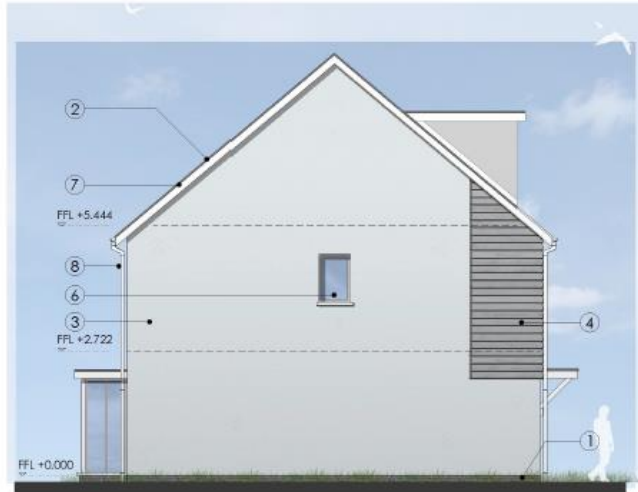
FIRST FLOOR PLAN OPTIONS G1,G2



GROUND FLOOR PLAN OPTIONS G1,G2



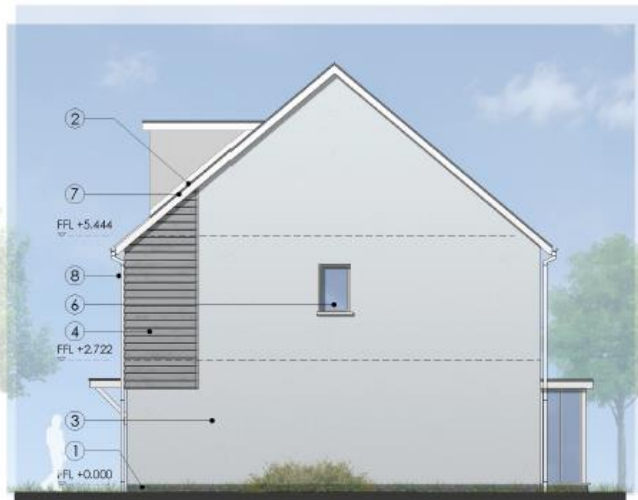
FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth, Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- ⑤ Approved Stone Wall Finish, Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.



FIRST FLOOR PLAN OPTION H1



SECOND FLOOR PLAN OPTION H1



GROUND FLOOR PLAN OPTION H1

OPTION H1 PLANS
Scale 1:100 @ A3

2249-207-01 Plans
4 Bedroom House | 1422 sq ft





The Contractor is to comply in all respects with current building legislation - Building Standard Specifications, Building Regulations etc., whether or not specifically stated on this drawing.

The drawing must be read with and checked against any structural, geotechnical or other specialist documentation provided.

This drawing is not intended to show details of foundations, ground conditions or ground contaminants. Each area of ground noted open to support any structure depicted (including drainage) must be investigated by the Contractor. A suitable method of foundation should be provided allowing for all existing ground conditions. Any suspect or fluid ground, contaminants or in or within the ground, should be further investigated by a suitable expert. Any surface condition shown indicates typical signs for guidance only and should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a full Arboricultural inspection for safety.

The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before works commence.

All roads which are to be the subject of a Section 20 Agreement are to be constructed in accordance with the Local Highway Authority's current specification and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current road and bridge construction specification. All road construction techniques are to be confirmed by suitable C.R.R. testing in accordance with California State Coastal requirements.

No responsibility will be taken for any construction work undertaken prior to receipt of technical approvals for the intended construction, or when work is not executed strictly in accordance with the drawings.

A sewer or lateral drain should not be located closer to trees / bushes / shrubs than the canopy width at mature height, except where special protection measures are provided (e.g. use of appropriate barriers or constructed from reinforced concrete with stepped joints).

rev	date	description
A	05.04.18	Levels amended and main drainage added.
B	05.06.18	Main embankment and lower garden levels amended.
C	26.06.18	Updated to latest site layout following planners comments.

by
M. M.
M. M.

Status:
PRELIMINARY

Drawn: MCG

Checked: GTW

Date: Feb 2018

Scale: 1:250 (A1)

Client: Pobl Group

Project: Pwll Road, Burry Port

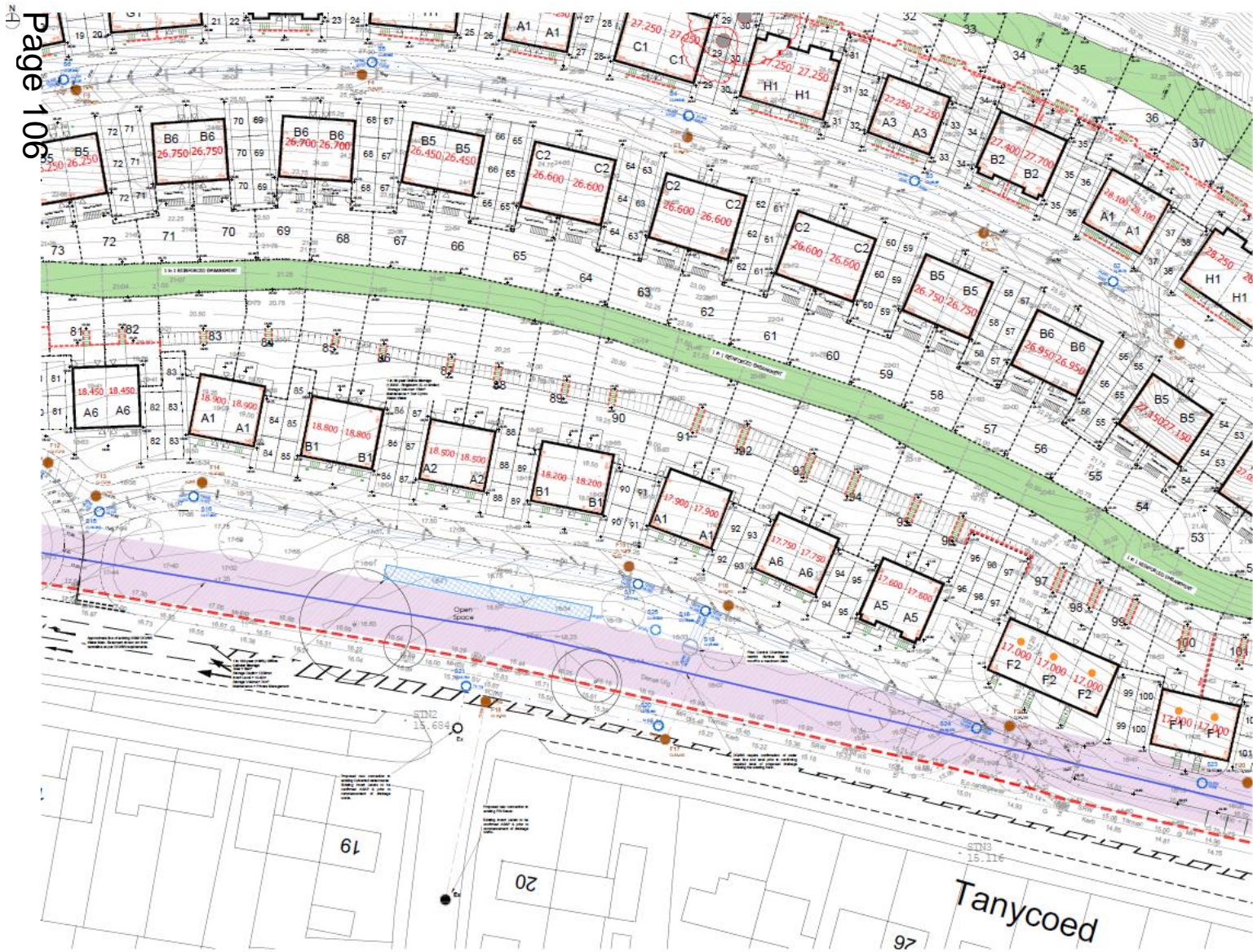
Title: Engineering Layout (1 of 4)

Ref: 2249/520-1

Rev: C



Unit 2 Chapel Barns | Merthyr Mawr
Bridgend | CF32 0LS | 01656 856267
mail@spring-consultancy.co.uk



GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and water levels at construction stage before and after any construction is to be reported to the Design before any construction.

The Contractor is to supply all material with correct building regulations, building standards, specifications, building regulations, etc., whether or not specifically stated in the drawing.

The drawing must be read with and checked against any existing, published or other available documentation provided.

This drawing is not intended to show details of foundations, ground conditions or ground conditions. Each area of ground shall only be used as shown on the drawing. The Contractor shall be responsible for the ground conditions for all existing ground conditions. Any aspect of the ground conditions or any other aspect of the ground conditions shall be further investigated by the Contractor and shall be further investigated by a suitable expert.

Where existing trees are shown to be retained they shall be protected to a suitable standard for retention.

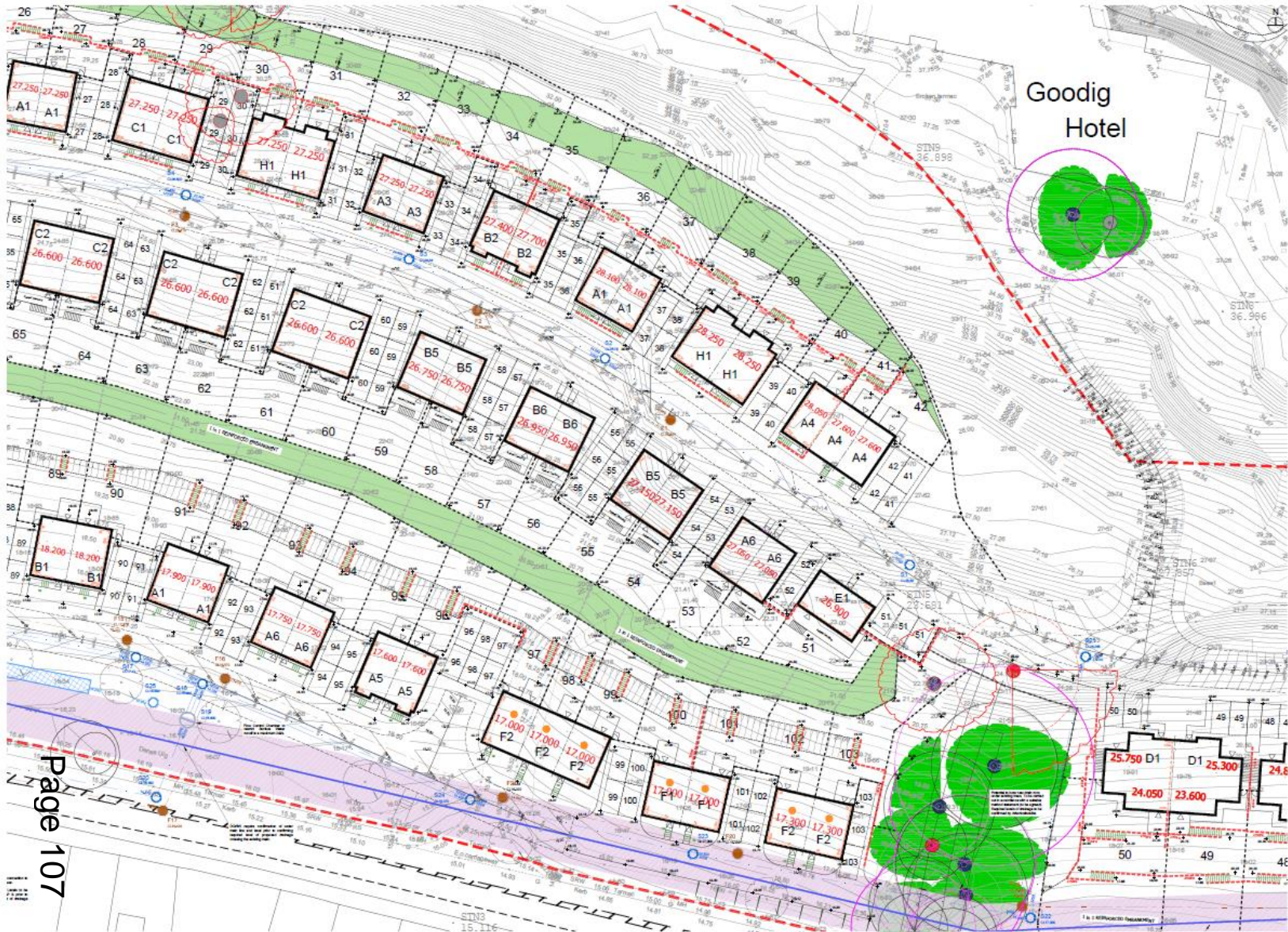
The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before any construction.

All roads which are to be the subject of a Section 20 Agreement are to be constructed to a standard with the Local Highway Authority's current standards and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current code and standards applicable to the construction of the proposed road. All construction shall be in accordance with the current code and standards applicable to the construction of the proposed road.

For responsibility will be taken for any construction work undertaken prior to the start of the proposed road. The Contractor shall be responsible for any construction work undertaken prior to the start of the proposed road.

In order to ensure that the proposed road is constructed to a standard which meets the requirements of the proposed road, the Contractor shall be responsible for any construction work undertaken prior to the start of the proposed road.



GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and areas must match any discrepancies to be reported to Spring Design before work commences.

The Contractor is to comply with all relevant building regulations, including structural specifications, building regulations, etc., unless it is specifically stated on the drawing.

The drawing must be read and checked against any electronic, professional or other standard construction practice.

This drawing is not intended to show details of foundations, ground conditions or ground water conditions. Each area of ground shown must be investigated by the Contractor. A suitable method of foundation should be provided allowing for all existing ground conditions. Any aspect of that ground's conditions on or within the ground, should be further investigated by a suitable event. Any further investigation should include a report for guidance only and should be further investigated by a suitable event.

Where existing trees are shown to be retained they should be marked in a full Arboricultural Inspection for safety.

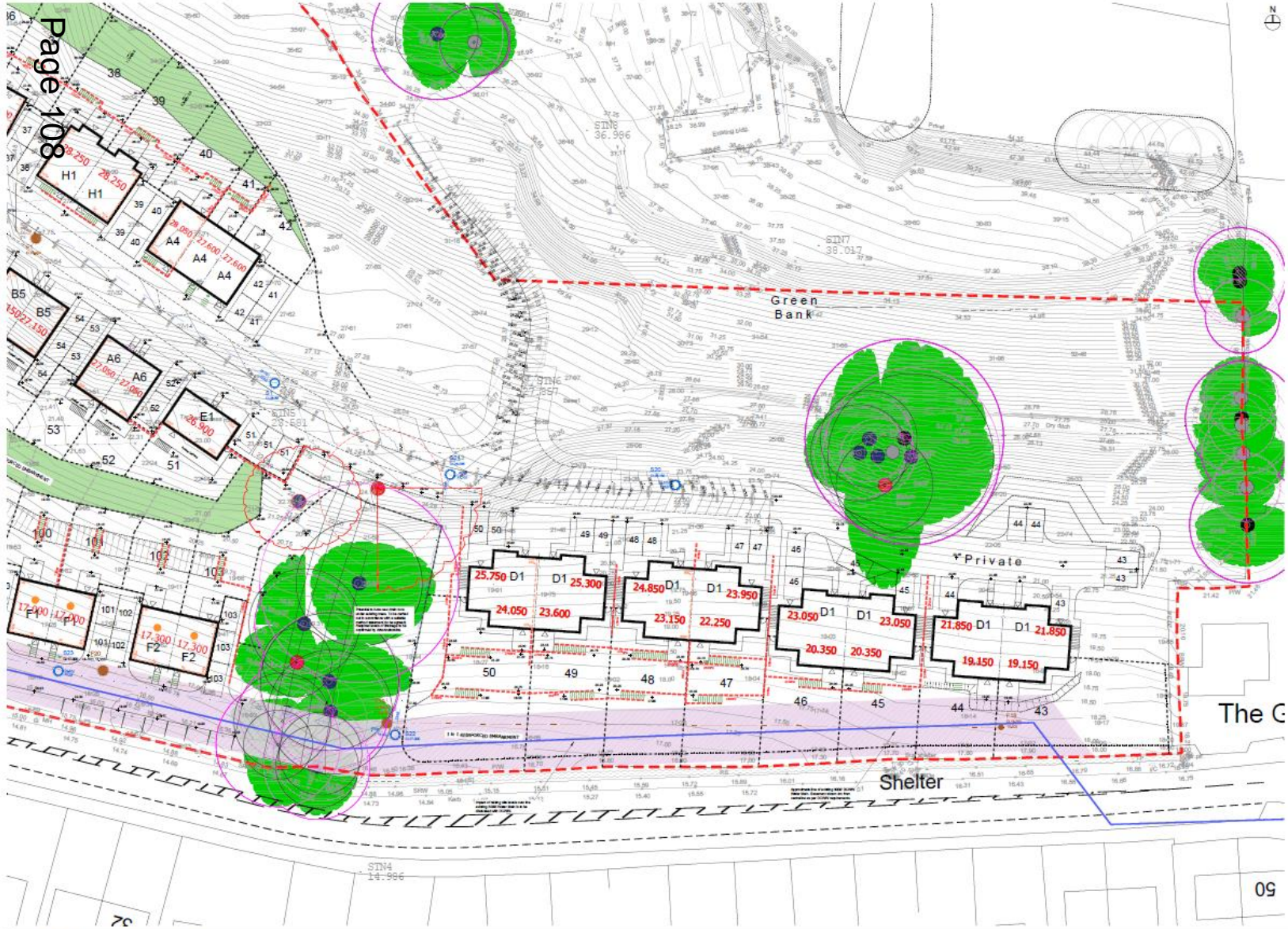
The existing ground levels along the side of the proposed road are to be confirmed by the Contractor before work commences.

All works which are to be the subject of a Section 55 Agreement are to be completed in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed must be in accordance with the current road and engineering specifications. Road construction materials are to be confirmed by suitable C.I.A. testing in accordance with Construction Industry Council membership.

No responsibility will be taken for any construction work undertaken prior to receipt of necessary approvals for the proposed construction, or other work, or in weather which is inconsistent with the drawing.

A notice of warning shall be placed on the nearest corner to the road to advise that the drawing must be read before any work is carried out. No responsibility will be taken for any construction work undertaken prior to receipt of necessary approvals for the proposed construction, or other work, or in weather which is inconsistent with the drawing.



GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and areas, and must be satisfied that the site is suitable for the proposed development. Any discrepancies are to be reported to the Design Team before construction.

The Contractor is to comply with all relevant building regulations, including building regulations, building standards, specifications, building regulations, etc., whether or not specifically stated on the drawing.

The drawing must be read and checked against any existing plans and/or other relevant documentation provided.

This drawing is not intended to show details of construction, ground conditions or ground water levels. Any such details must be investigated by the Contractor or a suitable specialist before construction.

Each type of ground water level must be investigated by the Contractor or a suitable specialist before construction.

Where existing trees are shown to be retained they should be subject to a full Arborescence Inspection (see note).

The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before construction.

All roads which are to be the subject of a Section 38 Agreement are to be constructed in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current Code of Practice for the construction of roads. All construction methods are to be confirmed by the Local Highway Authority's Engineer.

The responsibility will be taken for any construction work undertaken prior to receipt of technical approval for the proposed construction, or where such work is not undertaken in accordance with the drawing.

A sewer or storm drain should not be located closer to a building than the minimum depth of cover. Where a sewer or storm drain is located closer to a building than the minimum depth of cover, the sewer or storm drain should be constructed from precast concrete or reinforced concrete.

This drawing is copyright and its use or reproduction without the permission of Spring Design Consultancy Limited. All rights are reserved until invoices are paid in full. No responsibility will be taken for any design used for construction prior to receipt of relevant approvals.

Rev	Date	Description	By
A	20.06.18	Updated to latest site layout following planning comments.	CDH

Status: **PRELIMINARY**

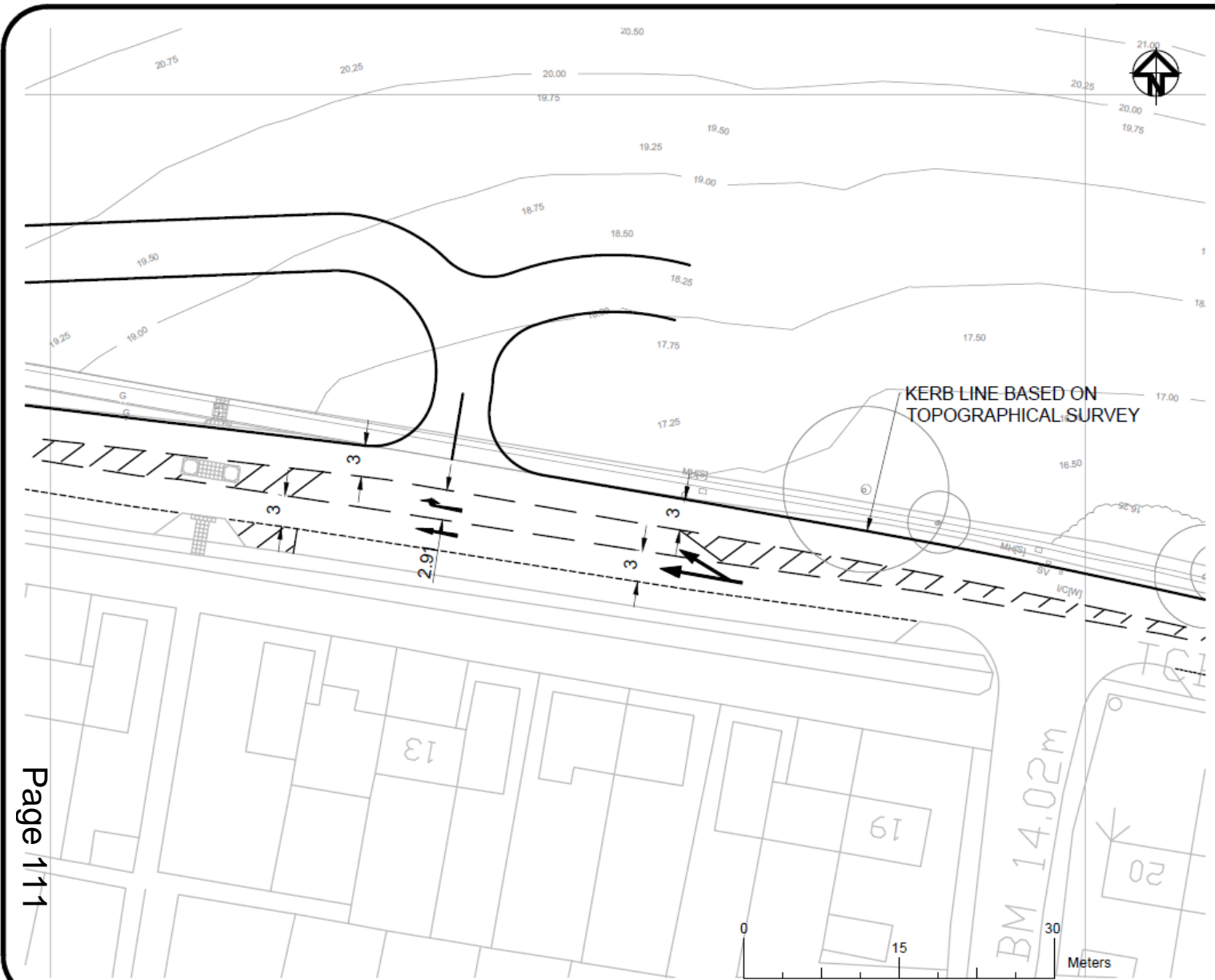
Drawn: MCC
Checked: CTW
Date: Feb 2018
Scale: 1:250 (A1)

Client: Pwll Road, Burry Port
Project: Pwll Road, Burry Port
Title: Engineering Layout (H of 6)
Ref: 2248/620-4
Rev: A

spring
Unit 2 Chapel Bank, Market View
Widgendy, G72 0LH, 01855 882267
info@springdesign.co.uk







- General Notes**
- NOTES**
1. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
 2. DO NOT SCALE THIS DRAWING.
 3. ALL LEVELS ARE IN METRES ABOVE ORDNANCE DATUM (AOD).
 4. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
 5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS.
 6. THE SPECIFICATION FOR THE WORKS SHALL BE THE DEPARTMENT OF TRANSPORT SPECIFICATION FOR HIGHWAY WORKS 1998 AS AMENDED BY THE LOCAL HIGHWAY AUTHORITY HIGHWAYS DESIGN GUIDE.
 7. COPYRIGHT OF THIS DRAWING IS RETAINED BY THE ENGINEER AND IT MUST NOT BE REPRODUCED IN WHOLE OR PART WITHOUT WRITTEN CONSENT.

A For Discussion

No.	Reviser/Issue	Date
-----	---------------	------

Who to call and address

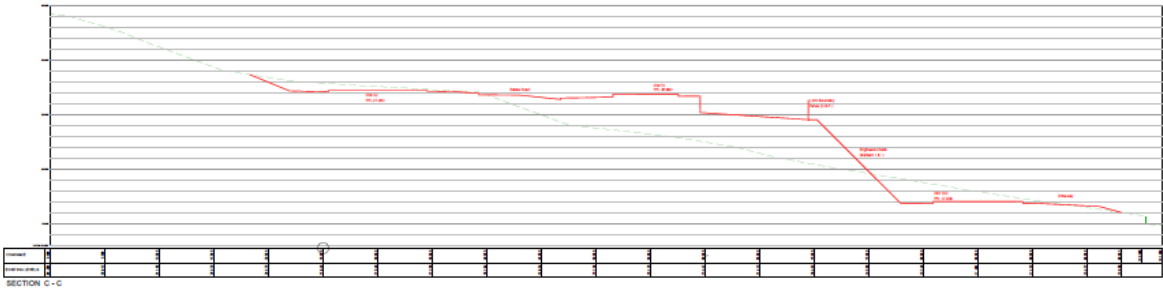
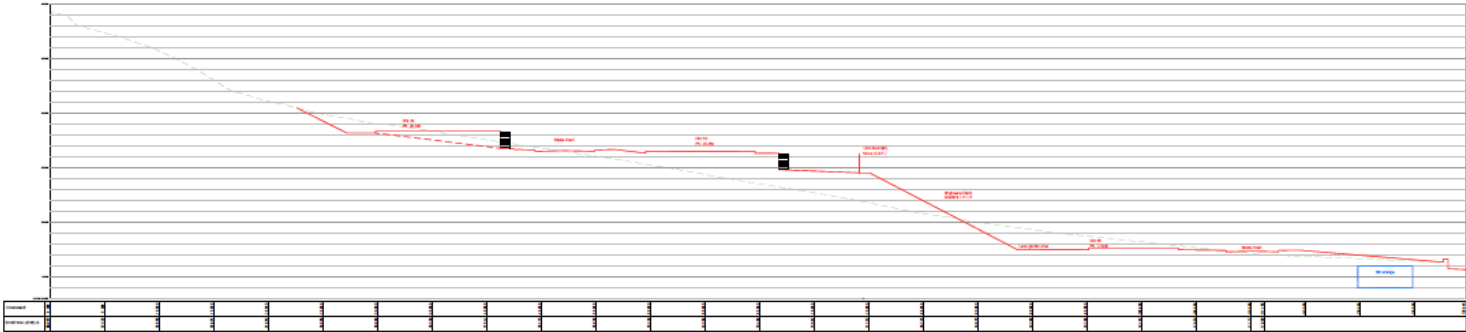
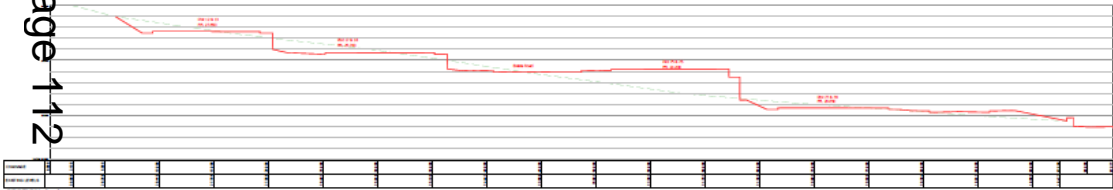
LvW
Highways

25 Warrington Road
Warrington, Cheshire
WA1 4JF
Tel: 01257 230786
Mob: 07769 230825

Project Name and Address

Goodig Hotel, Pwll Road,
Burry Port, Carmar.
Proposed Junction
Ghost Island
Road Markings

Project	Sheet
2017-391	SK04
Date 11.04.2018	
Scale 1:500 @ A4L	



This drawing is to demonstrate an initial engineering concept, highlight risks and provide guidance for early cost planning. The design of the levels and drainage is subject to change at the detailed design stage and following consultations with key stakeholders including NRM, DCWW and Camorthore County Council.

This drawing is copyright and its use or reproduction without the permission of Spring Design Consultancy Limited. All rights are reserved until invoices are paid in full. No responsibility will be taken for any design used for construction prior to receipt of relevant approvals.

rev	date	Description	by
A	04/03/17	Updated to add initial site layout and levels.	MD

Status:
PRELIMINARY

Drawn: CSM
Checked: GTW
Date: Mar. 2017
Scale: 1:200 (A3)

Client: Post Group
Project: Pelt Road, Barry Port.
Title: Proposed Site Cross Sections.
Ref: 2249/S01-3
Rev: A

spring
design
Unit 2 Chapel Gate | Marazion, West
Boscombe | PO19 6SS
info@spring-consultancy.co.uk

S/36993



S/36993

Page 114



S/36993



S/36993

Page 116



S/36993





A canopy or lateral drain should not be located closer to trees / bushes / shrubs than the canopy width at mature height, except where special protection measures are provided (e.g. use of appropriate barriers or constructed from polyethylene with washed joints).



1:500

GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and areas. Level marks in construction points shall be set out. Any discrepancy is to be reported to the design team with supporting evidence.

The Contractor is to comply in all respects with current building regulations, building standards, specifications, building regulations etc. whether or not specifically stated on the drawing.

The drawing shall be read with and checked against any structural, geotechnical or other specialist documents provided.

The drawing is not intended to show details of foundations, ground conditions or ground movements. Any areas of ground movement or ground conditions requiring remedial works shall be investigated by the Contractor. A suitable method of foundation shall be provided allowing for all existing ground conditions. Any material or fill placed, compacted or in situ shall be ground tested to further investigate to a suitable depth. Any structural construction shall include a suitable design for ground and shall be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be retained by a suitably qualified person for advice.

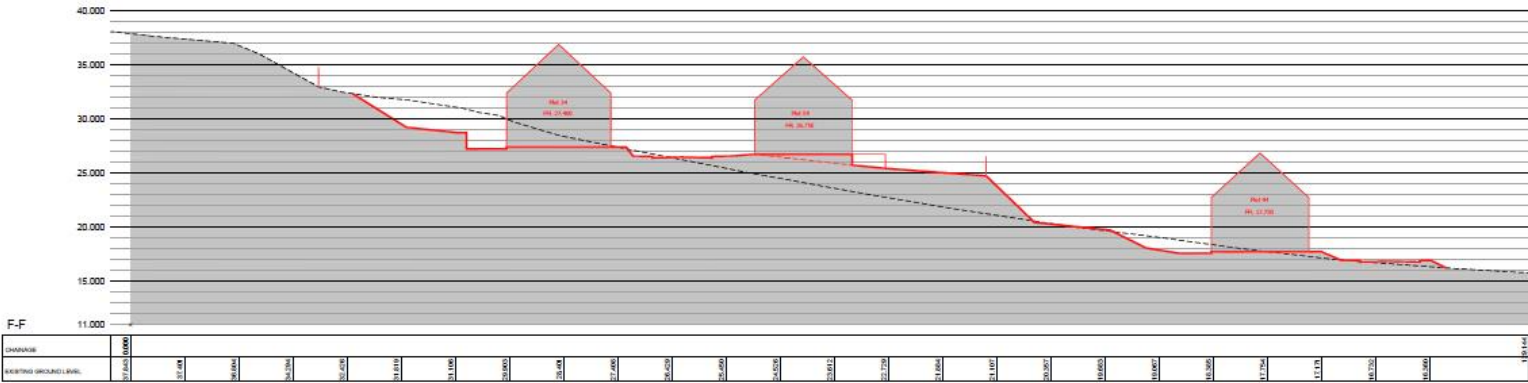
The existing ground level along the route of the proposed road is to be confirmed by the Contractor before work commences.

All levels which are to be the subject of a Section 55 Agreement are to be confirmed in accordance with the Local Highway Authority's current specification and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current code and appropriate specifications. All road construction shall be confirmed by a suitable C.I.A. body in accordance with the requirements of the Local Highway Authority's Engineer.

No responsibility shall be taken for any construction work undertaken prior to receipt of written approval for the proposed construction of which work is not detailed within the drawing.

A review of the drawing should be the responsibility of the Client. The Client is to ensure that the drawing is in accordance with the requirements of the Local Highway Authority's Engineer and that the drawing is in accordance with the requirements of the Local Highway Authority's Engineer.



This drawing is copyright and its use or reproduction without the permission of Spring Design Consultancy Limited. All rights are reserved until written permission is given in full. No responsibility will be taken for any design used for construction prior to receipt of relevant approvals.

Rev	Date	Description	By
1	25.06.18	Issued for construction	MCC
2	26.06.18	Updated to latest site layout following planners comments.	CDM

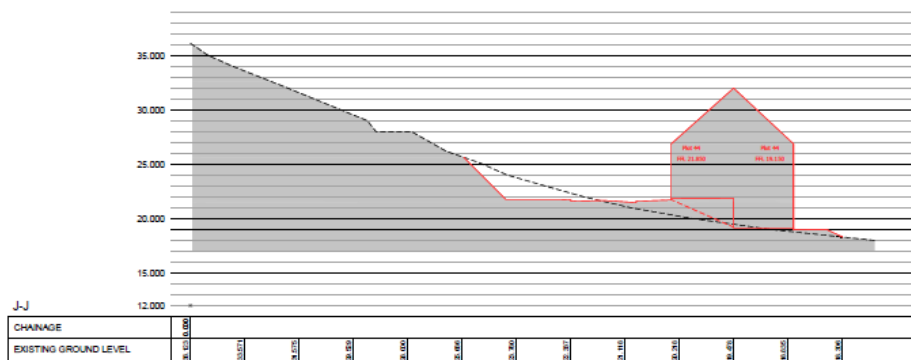
Status: PRELIMINARY

Drawn: EA
Checked: MCC
Date: Feb 2018
Scale: As Shown (A1)

Client: Pobl Group
Project: Pwll Road, Burry Port
Title: Site Sections (4 of 6)
Ref: 2249/635-4
Rev: 8

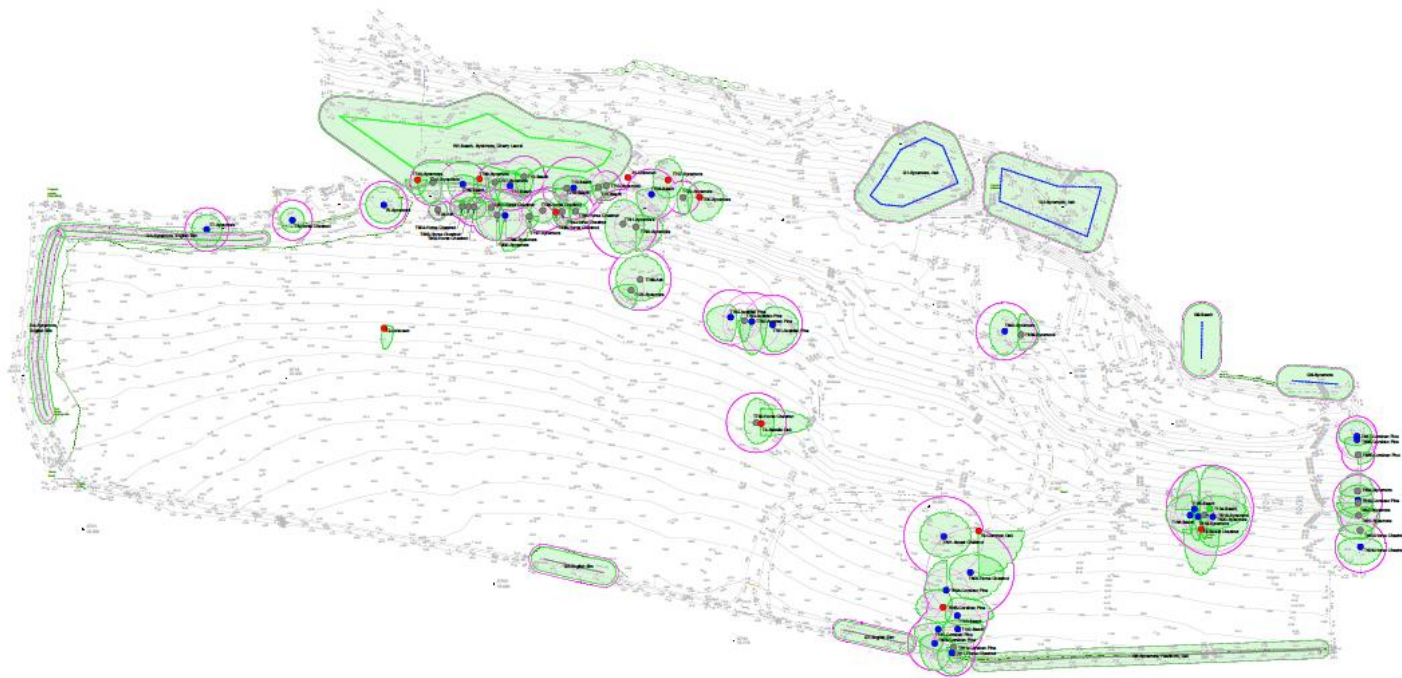
spring
Unit 2 Chapel Works Market Way
Bridgford (CP2) Lincs LN9 8BB
Tel: 01533 611111





spring
design
Unit 2 Chapel Barre | Merthyr Mawr
Bridgend | CF22 0LS | 01656 66267
mail@spring-consultancy.co.uk





Tree Constraints Plan

Site: [Blank]
Project: [Blank]
Scale: 1" = 100'

Legend

- Category A (High)
(Highly Sensitive to Removal)
- Category B (Medium)
(Medium Sensitive to Removal)
- Category C (Low)
(Low Sensitive to Removal)
- Category D (None)
(Not Sensitive to Removal)

Notes

1. All trees shown on this map are assumed to be in good health and are not to be removed without the approval of the local planning authority (LPA).

2. The LPA may require the removal of trees shown on this map if they are found to be dead, dying, or diseased.

3. The LPA may require the removal of trees shown on this map if they are found to be a hazard to the public or to the environment.

4. The LPA may require the removal of trees shown on this map if they are found to be a nuisance to the public or to the environment.

5. The LPA may require the removal of trees shown on this map if they are found to be a hazard to the public or to the environment.

6. The LPA may require the removal of trees shown on this map if they are found to be a nuisance to the public or to the environment.

7. The LPA may require the removal of trees shown on this map if they are found to be a hazard to the public or to the environment.

8. The LPA may require the removal of trees shown on this map if they are found to be a nuisance to the public or to the environment.

9. The LPA may require the removal of trees shown on this map if they are found to be a hazard to the public or to the environment.

10. The LPA may require the removal of trees shown on this map if they are found to be a nuisance to the public or to the environment.

S/36993

Page 124



S/36993



S/36993

Page 126



S/36993



S/36993

Page 128



S/36993



S/36993

Page 130



S/36993



S/36993

Page 132



S/36993



S/36993

Page 134



S/36993



This page is intentionally left blank